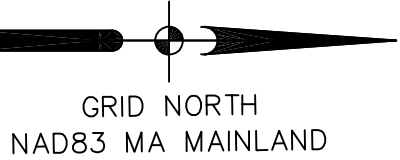


APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED
BOLTON PLANNING BOARD

DATE: _____

FOR REGISTRY USE ONLY



COUNTY LAYOUT #1669
PL. BK. 190 PG. 62
STATE LAYOUT #5281
1962

SEE SHEET 2 FOR
PROPOSED EASEMENTS

BK. 3810 PG. 534
STREET
(PUBLIC ~ ROUTE 117)

PROPOSED
ELEC./TELCOM
EASE, SEE
SHEET 2

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SEE SHEET 2

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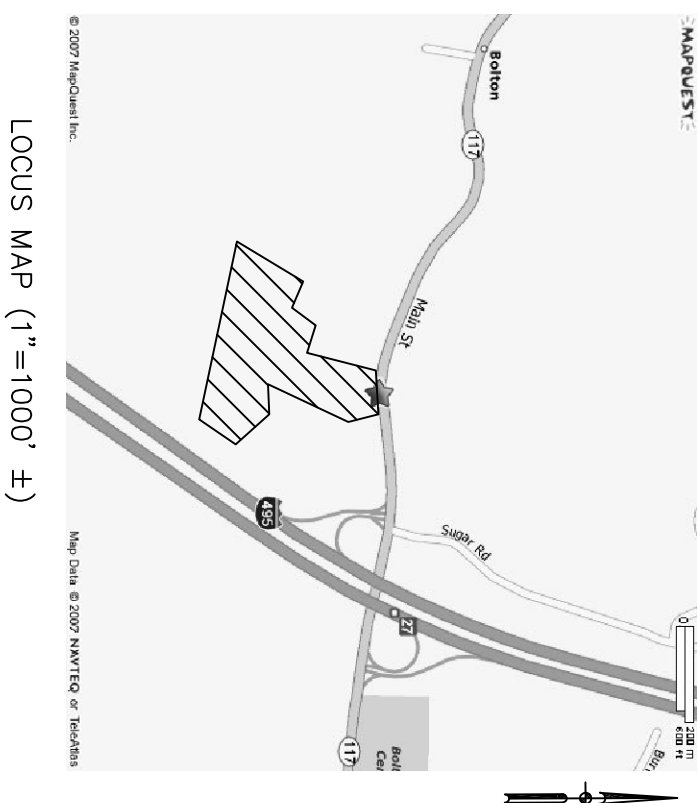
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PROPOSED
DRAIN EASE,
SEE SHEET 2



LOCUS MAP (1"=1000' ±)

- NOTES:
1. THIS PLAN REFERS TO PLAN BK. 482 PG. 7, LOT 2
 2. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE AM 4/C LOT 24 INTO 2 LOTS.

ZONING - LIMITED BUSINESS	REC'D. PROPOSED
MIN. LOT SIZE (A.C.):	1.5 6.59 32.43
MIN. LOT WIDTH (F.T.):	150 280.68 305.52
MIN. FRONT YARD (F.T.):	50 400 -
MIN. SIDE YARD (F.T.):	25 107 -
MIN. REAR YARD (F.T.):	25 251 -
MIN. BUILDING SETBACK (F.T.):	10 32 -
MAX. BLDG. HT. (F.T.):	33 -

THE PROPERTY IS LOCATED WITHIN THE WIRELESS COMMUNICATION OVERLAY DISTRICT (WOOD), MIXED USE VILLAGE OVERLAY DISTRICT (MAYD) AND THE FLOODPLAIN OVERLAY DISTRICT.

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS AND COMPLIES WITH MGL c. 41, s. 81P."

PLS. _____ DATE 03/02/22

APPROVAL NOT REQUIRED
PLAN OF LAND
IN

BOLTON, MA

PREPARED FOR:
CONDYNE CAPITAL PARTNERS, LLC

580 MAIN STREET

BOLTON, MA
DATE: SEPTEMBER 2, 2021
REVISED: MARCH 2, 2022

SCALE: 1"=100'

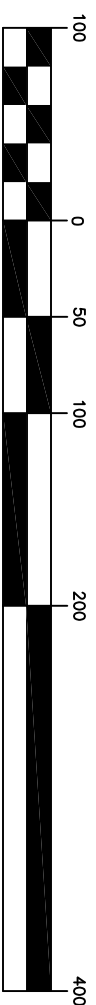
SHEET 1 OF 2 (ANR)

CURRENT OWNER OF RECORD
AM 4/C LOT 24
BOLTON OFFICE PARK LLC
BK. 49223 PG. 19

LEGEND

- DH FND.
- DHCB FND.
- IR SET
- LPHDSB
- DHHSB FND.
- AM LOT
- DRILL HOLE FOUND
- DRILL HOLE CONCRETE BOUND FOUND
- IRON ROD SET/FOUND
- LEAD PLUG IN STONE BOUND FOUND
- DRILL HOLE STONE BOUND FOUND
- ASSESSOR'S MAP AND LOT REF.

GRAPHIC SCALE



1" = 100' FT.



34 CROSS STREET
NORTON, MA 02766
T. 508-285-3141 F. 508-285-3142