

# SITE PLANS

## ASSISTED LIVING REDEVELOPMENT

### BOLTON OFFICE PARK

580 MAIN STREET

BOLTON, MASSACHUSETTS

MARCH 7, 2014

REV1: 5/5/14 – ADD RAINGARDENS, ADD PARKING, MISC REVS PER COMMENT  
REV2: 9/26/14 – REVISIONS PER PLANNING BOARD AND H&W CONSULTANT REVIEW  
REV3: 10/16/14 – MISC. REVISIONS PER COMMENT  
REV4: 11/18/14 – MISC. REVS PER AGENT  
REV5: 1/6/15 – REVS PER PLANNING AND DRB

#### PROJECT SUMMARY

TOTAL LOT AREA - 39.0 ACRES			
EXISTING BUILDING FOOTPRINT	48,060 S.F.		
PROPOSED ASSISTED LIVING FACILITY	25,869 S.F.		
TOTAL BUILDING FOOTPRINT	73,929 S.F.		

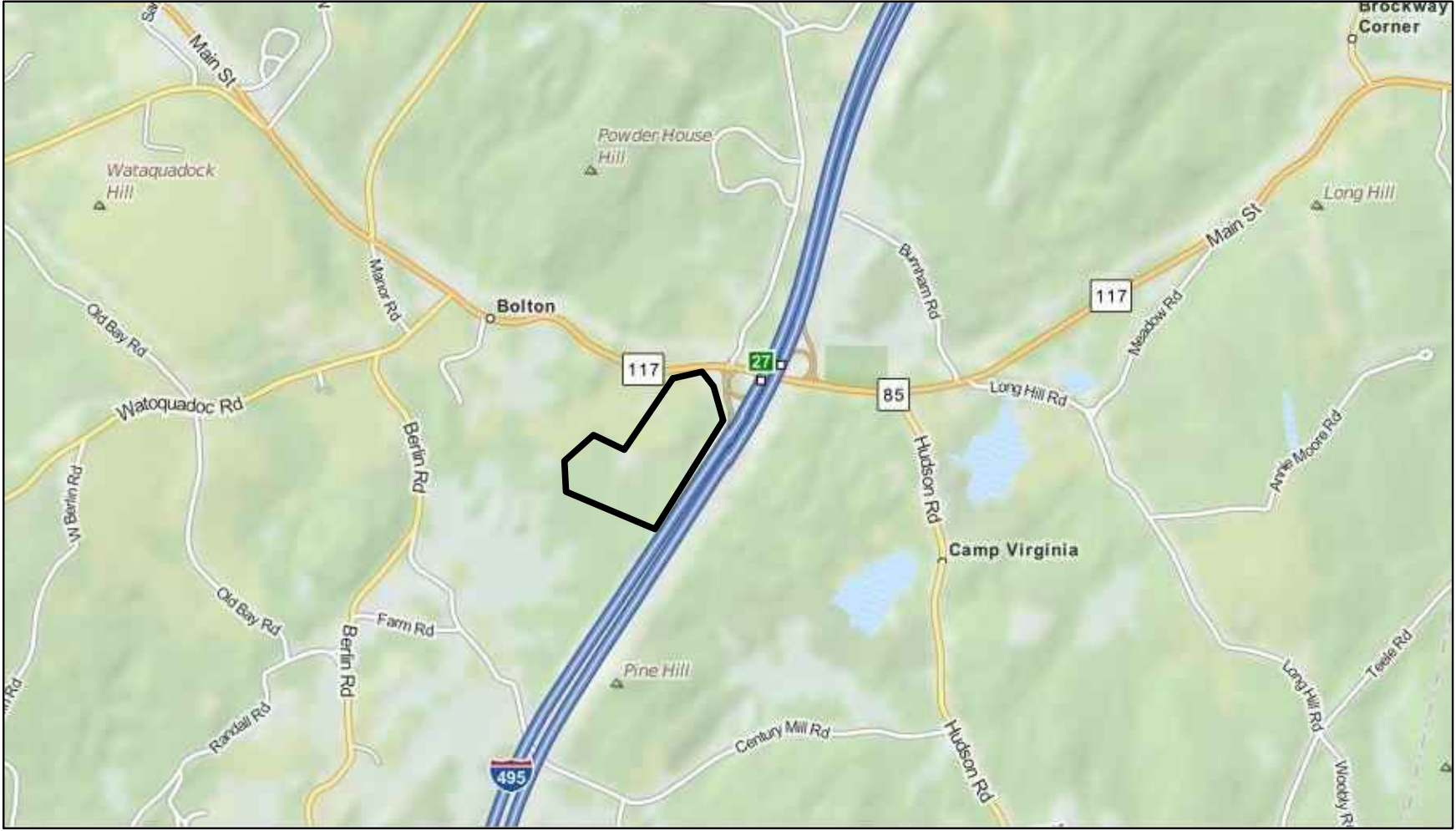
#### ZONING COMPLIANCE TABLE

ZONING DISTRICT: LIMITED BUSINESS				
CRITERIA	REQUIRED	EXISTING	PROPOSED LOT 1	PROPOSED LOT 2
MINIMUM LOT AREA	1.5 AC	39.0 AC	18.55 AC	20.45 AC
MINIMUM LOT FRONTAGE	200 FT	730 +/- FT	400 FT	200 FT
FRONT YARD SETBACK	150 FT	400 +/- FT	400 +/- FT	744 +/- FT
SIDE YARD SETBACK	50 FT	121 +/- FT	121 +/- FT	79 +/- FT
REAR YARD SETBACK	50 FT	782 +/- FT	248 +/- FT	390 +/- FT
MIN. LOT WIDTH 100' BACK	150 FT	650 FT	461 FT	189 FT
BUILDING LOT COVERAGE	8.0%	2.4%	5.9%	2.9%
LOT COVERAGE	50% MAX	267,822SF (16%)	197,835SF (24%)	100,567SF (11%)

#### PARKING SUMMARY

ZONING DISTRICT: LIMITED BUSINESS		PARKING AREA REQUIREMENT: 1SF OF PARKING PER 1SF OF OFFICE	
EXISTING PARKING SUMMARY	EXISTING GROSS FLOOR AREA	EXISTING AREA PROVIDED	RATIO
	101,817 S.F.	166,216	1.63 SF / 1 SF (EXCESS)
PROPOSED PARKING		PROPOSED AREA PROVIDED	RATIO
PROVIDED FOR OFFICE BLDG			
S.F. OF PARKING REQUIRED	101,817 SF	102,269 SF	1.01 SF / 1 SF
PROVIDED ASSISTED LIVING	1 SPACE / BEDROOM	60 BEDROOMS	60 SPACES PROVIDED
SUMMARY PER SPACE	EXISTING	PROPOSED	
	403 TOTAL	398 TOTAL	

PARKING DEDICATION SUMMARY  
PROVIDE 1SPACE / 300 S.F. OF OFFICE AREA = 340  
PROVIDE REMAINING SPACES FOR ASSISTED LIVING = 58 SPACES  
\* PARKING SHALL BE SHARED BETWEEN BOTH FACILITIES AND BETWEEN BOTH LOTS



LOCUS MAP

#### PREPARED FOR:

BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

#### ARCHITECT:

BJA ARCHITECTS, INC.  
142 CRESCENT STREET  
BROCKTON, MA 02302

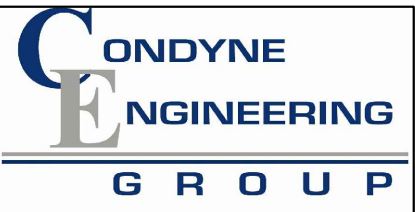
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#### LEGEND

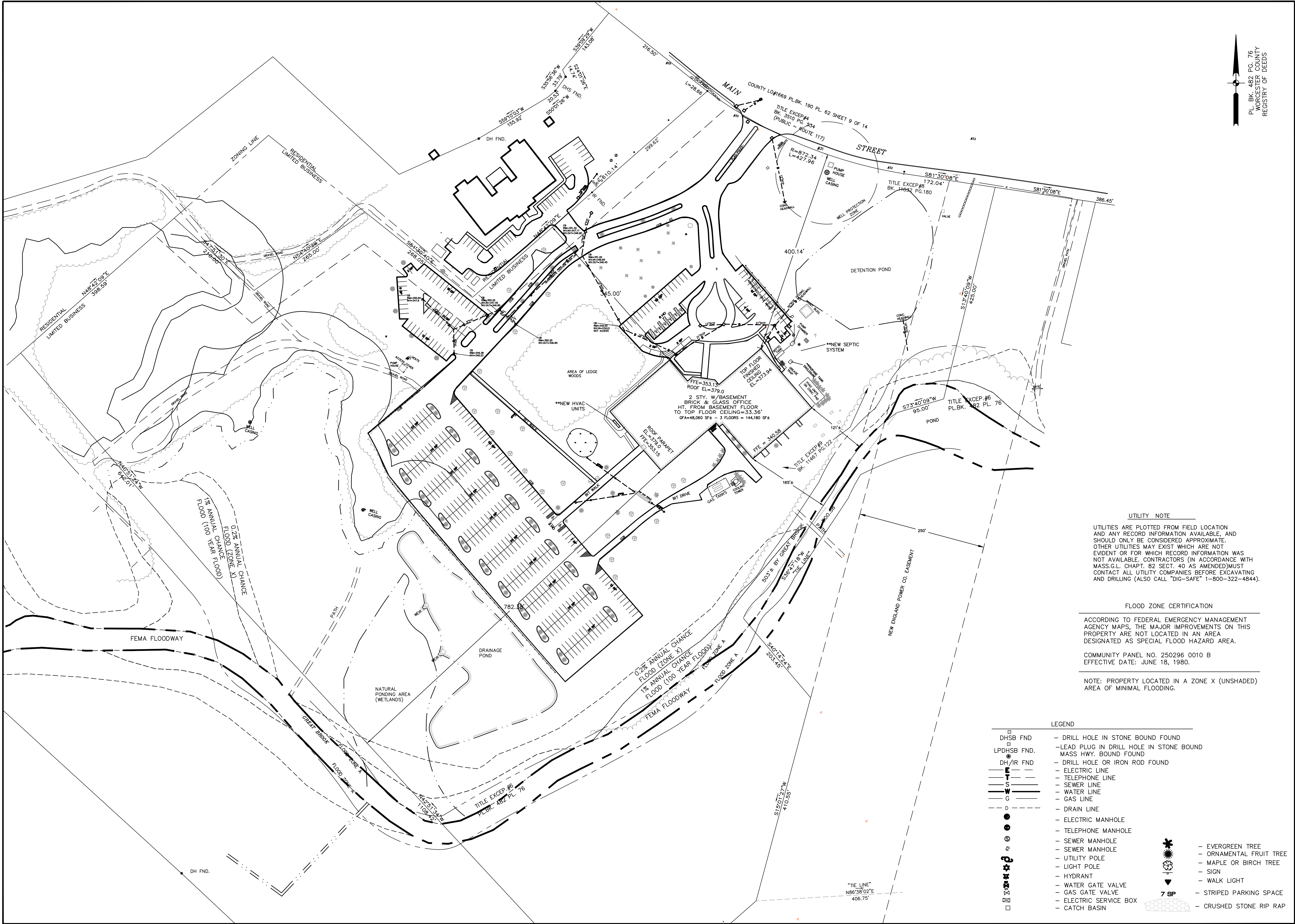
DHSB FND	- DRILL HOLE IN STONE BOUND FOUND
LPDHSB FND.	- LEAD PLUG IN DRILL HOLE IN STONE BOUND MASS HWY. BOUND FOUND
DH/IR FND/SET	- DRILL HOLE OR IRON ROD FOUND/SET
E	- EXISTING ELECTRIC LINE
T	- EXISTING TELEPHONE LINE
S	- EXISTING SEWER LINE
W	- EXISTING WATER LINE
G	- EXISTING GAS LINE
D	- EXISTING DRAIN LINE
⊕	- EXISTING ELECTRIC MANHOLE
⊙	- EXISTING TELEPHONE MANHOLE
⊗	- EXISTING SEWER MANHOLE
⊖	- EXISTING DRAIN MANHOLE
⊙	- UTILITY POLE
⊙	- LIGHT POLE
⊙	- HYDRANT
⊙	- WATER GATE VALVE
⊙	- GAS GATE VALVE
⊙	- ELECTRIC SERVICE BOX
⊙	- CATCH BASIN
⊙	- SIGN
⊙	- WALK LIGHT
⊙	- NUMBER OF PARKING SPACES
⊙	- PROPOSED SPOT GRADE
⊙	- PROPOSED SEWER LINE
⊙	- PROPOSED WATER LINE
⊙	- PROPOSED GAS LINE
⊙	- PROPOSED DRAIN LINE
⊙	- PROPOSED DRAIN MANHOLE
⊙	- PROPOSED DRAIN MANHOLE
⊙	- CAPE COD BERM
⊙	- VERTICAL CONCRETE CURB
⊙	- EDGE OF PAVEMENT
⊙	- DEEP OBSERVATION TEST HOLE
⊙	- FLARED END SECTION

#### PREPARED BY:

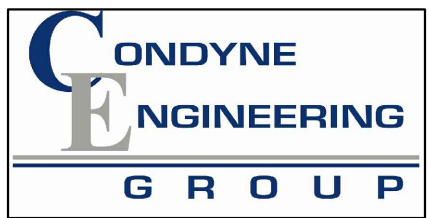


1150 WEST CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101





PL. BK. 482 PG. 76  
WORCESTER COUNTY  
REGISTRY OF DEEDS



1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK

OVERALL PLAN - EXISTING CONDITIONS

BOLTON, MA

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISIONS:	NO.	DATE	DESC.
	1	5/5/14	ADD RAINGARDENS, ADD PARKING.
	2	9/26/14	MISC REVS PER COMMENT
	3		AND NEW CONSULTANT
	4	10/16/14	REVISIONS PER PLANNING BOARD
	5	11/18/14	ADDITIONAL REVS PER COMMENT
	6	1/06/14	ADDITIONAL REVS PER AGENT
	7		REVS PER PLANNING AND DRB

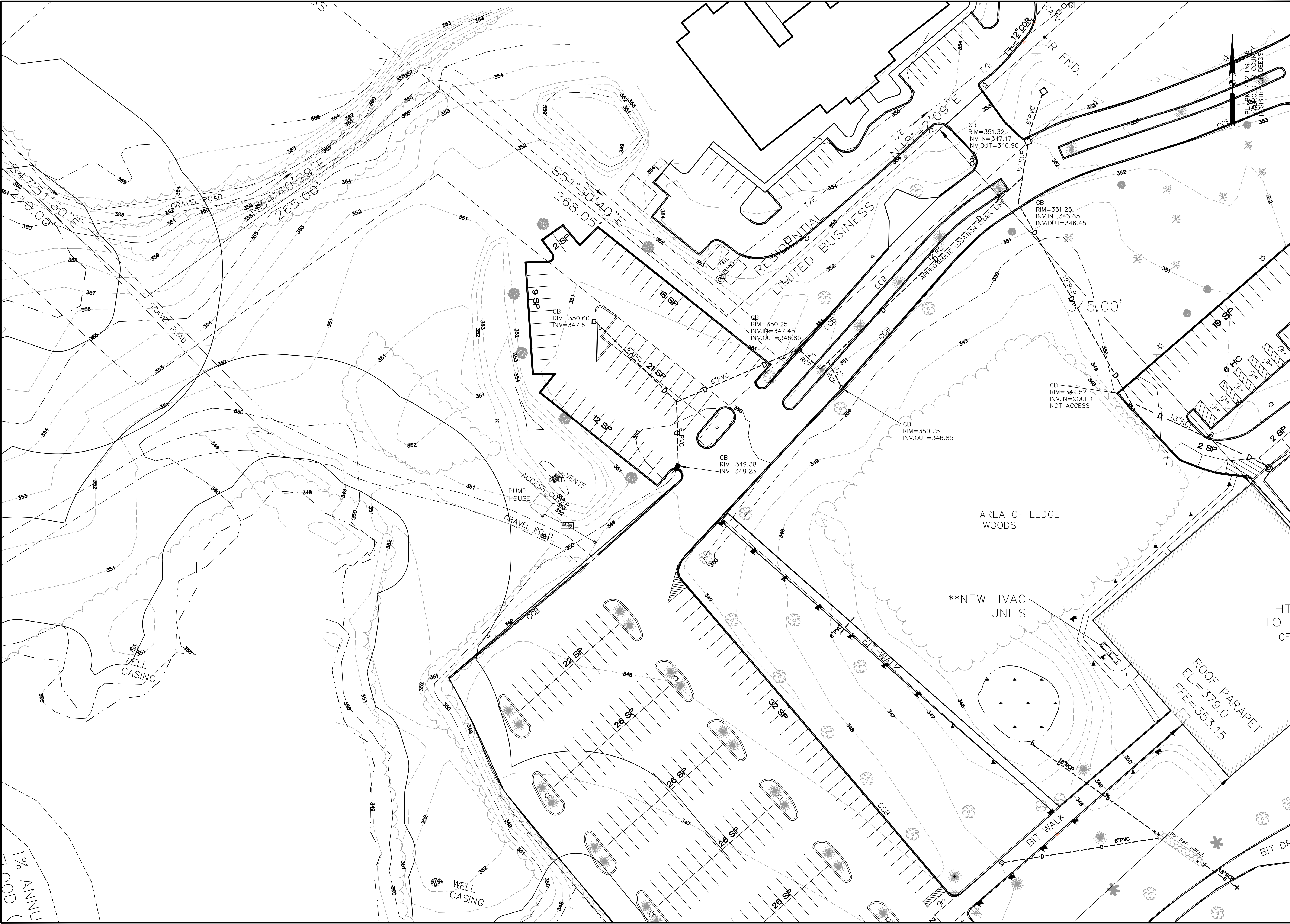
PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 80' 160'

SCALE: 1"=80'

SHEET 2 OF 15





CONDYNE  
ENGINEERING  
GROUP

1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER      DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
EXISTING CONDITIONS DETAIL PLAN  
  
BOLTON, MA

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISONS:	NO.	DATE	DESC.
1	5/5/14		ADD RAINGARDENS, ADD PARKING.
2	9/26/14		MISC REVS PER COMMENT AND REV CONSULTANT
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4	11/18/14		ADDITIONAL REVS PER COMMENT
5	1/06/14		ADDITIONAL REVS PER AGENT
			REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 30' 60'  
SCALE: 1"=30'



GENERAL NOTES

1. ALL SITE PREPARATION NECESSARY TO COMPLETE THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL ON THE JOB SITE. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING ALL NECESSARY SAFETY DEVICES, WARNING LIGHTS, BARRICADES, AND OTHER APPROPRIATE SAFETY MEASURES IN ACCORDANCE WITH OSHA STANDARDS.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE TOWN AND "DIG SAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE CONFLICTS BETWEEN THE PROPOSED UTILITIES AND FIELD-LOCATED UTILITIES AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED, INCOMPLETELY OR INACURATELY SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCURATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL GRADE STAKES SET BY THE SURVEYOR. GRADE STAKES SHALL REMAIN UNTIL A FINAL INSPECTION OF THE SITE HAS BEEN COMPLETED BY THE ENGINEER AND TOWN CONSULTANT (IF REQUIRED).
7. ALL PROPOSED STRUCTURES SHALL BE DESIGNED BY THEIR MANUFACTURERS FOR AASHTO HS-20 LOADING. PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 5000 PSI UNLESS OTHERWISE NOTED HEREIN.
8. THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. THE INSTALLER SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES AND OTHER LANDSCAPING. WHEREAS THE PLANS DO NOT SHOW ALL LANDSCAPE FEATURES, EXISTING CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WORK.
9. UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SPECIFICATIONS ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION.
10. ALL WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS (1997 REVISIONS) AND CONSTRUCTION AND TRAFFIC STANDARD DETAILS (1996) DRAWING NUMBER 107.1.0 AND 107.2.0. RAMPS SHALL HAVE A MAX 8% RAMP SLOPE AND 2% SIDE SLOPE.
11. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER MANNER. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
12. AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. THOROUGH INSPECTION OF THE WORK PERMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED, AND REMOVED FROM THE SITE.
13. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES WHENEVER POSSIBLE. ALL AREAS UNPAVED AND NOT LEFT IN A NATURAL CONDITION SHALL BE PLANTED WITH GRASS AND LANDSCAPING MATERIALS AS SHOWN ON THE LANDSCAPING PLAN.
14. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
15. SNOW TO BE STORED ON PAVEMENT (IMPERVIOUS AREAS) IN AREAS AS IDENTIFIED ON PLANS.
16. PRIOR TO CONSTRUCTION, ANY TREES WITHIN THE WORK AREA THAT ARE TO REMAIN SHALL BE CLEARLY FLAGGED AND MARKED AS TO REMAIN AND SHALL NOT BE DISTURBED. MINOR PRUNING SHALL BE ALLOWED AS NEEDED AND BE PERFORMED BY QUALIFIED PERSONNEL.

LAYOUT AND MATERIAL NOTES

1. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
2. COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.
3. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.
4. DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB.
5. ALL CURBING TO BE CAPE COD BERM UNLESS OTHERWISE NOTED.
6. ALL SIDEWALKS NOT ADJACENT TO THE CURB LINE ARE TO BE ASPHALT UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL STAKE OUT BUILDING FROM THE LATEST ARCHITECTURAL DRAWINGS.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING, LIGHTING, ENTRANCE PATIO, DOORWAY PADS, LOADING DOCK DETAILS, ETC.

GRADING AND DRAINAGE NOTES

1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.
2. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
3. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
4. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED.
5. STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.
6. PITCH EVENLY BETWEEN SPOT GRADES.
7. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
8. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING.
9. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
10. ALL PIPING TO BE ADS HDPE PIPING, SIZES AS SHOWN ON PLAN.

UTILITY NOTES

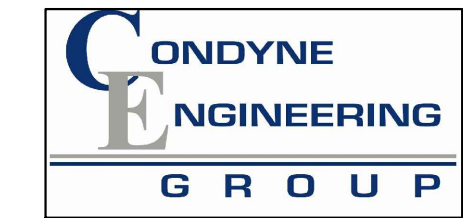
1. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
3. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
4. INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY AND DPW STANDARDS.
5. GAS, ELECTRIC, TELEPHONE AND FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES AND FIRE DEPARTMENT.
6. ALL WATER UTILITY IMPROVEMENTS SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION STANDARDS AND THE TOWN WATER DEPARTMENT SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET MINIMUM OF COVER.
7. ALL NEWLY INSTALLED WATER SYSTEM COMPONENTS SHALL BE CLEANED OF ALL FOREIGN MATERIALS SUCH AS DIRT AND MISCELLANEOUS DEBRIS PRIOR TO SYSTEM TESTING AND SHALL BE WITNESSED BY THE ENGINEER. NO TESTING IS ALLOWED WITHOUT REMOVAL OF ALL FOREIGN MATERIALS.
8. A PRESSURE TEST AND DISINFECT ION TEST OF ALL WATER SERVICE SYSTEMS SHALL BE CONDUCTED BY THE CONTRACTOR AND WITNESSED BY A REPRESENTATIVE OF THE TOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE TOWN WITH A MINIMUM OF 48-HOURS NOTICE TO THE TIME OF THE PRESSURE TEST AND SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY CONDUCT THE TESTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND REMOVE BLOWOFFS REQUIRED FOR DISINFECT ION AND FLUSHING PURPOSES AT NO EXTRA COST TO THE OWNER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO COLLECT ALL BACTERIOLOGICAL SAMPLES AND PAY FOR ALL RELATED LABORATORY FEES.
11. ALL NEWLY INSTALLED SEWER SEWER COLLECTION SYSTEM, SHALL BE CLEANED OF ALL FOREIGN MATERIALS SUCH AS DIRT AND MISCELLANEOUS DEBRIS PRIOR TO SYSTEM TESTING AND SHALL BE WITNESSED BY THE ENGINEER. NO TESTING IS ALLOWED WITHOUT REMOVAL OF ALL FOREIGN MATERIALS.
12. ALL SEWER MANHOLES SHALL BE TESTED FOR LEAKAGE. SYSTEM MAY BE TESTED BY THE USE OF EITHER WATER OR LOW-PRESSURE AIR.

EROSION CONTROL NOTES

1. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE DOWN GRADIENT EDGE OF PROPOSED DEVELOPMENT AS INDICATED ON THE PLAN PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
3. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEP AT THE END OF EACH WORKING DAY.
4. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
5. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.
6. ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
7. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
8. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DISTURBED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.
9. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT.
10. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
11. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
12. SILT SACKS SHALL BE PROVIDED AT ALL EXISTING DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND AT ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.
14. RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING ADJACENT TO A WATERWAY.
15. ADDITIONAL STRAW WADDLES AND SILT FENCE SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
16. FOR SLOPES 3:1 OR GREATER, EROSION CONTROL BLANKETS WITH A TACIFIER SHALL BE USED FOR STABILIZATION
17. ALL SEDIMENT SHALL BE REMOVED FROM THE TEMPORARY SEDIMENT BASIN PRIOR TO FINALIZING CONSTRUCTION.

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.
3. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES.
4. CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
5. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
6. NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
7. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.
8. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
9. LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.
10. TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE ENGINEER, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRIABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.
11. THE LANDSCAPE CONTRACTOR SHALL FURNISH ANY ADDITIONAL TOPSOIL NECESSARY. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
12. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTLING ON ALL STRIPPED PLANTED AREAS INCLUDING SLOPE STABILIZATION, LAWN AREAS AND PLANTING BEDS AFTER FILLS ARE PROPERLY SETTLED AND SUBGRADE HAS BEEN APPROVED BY THE OWNER. THE SETTLED TOPSOIL SHALL BE UP TO THE FINISHED GRADE AS CALLED FOR ON THE DRAWINGS. SCARIFY SUBGRADE TO A DEPTH OF TWO (2) INCHES BEFORE PLACING TOPSOIL.
13. REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE.
14. IF CERTAIN OF THE LAWN AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEEDD AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.
15. PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.
16. PLACE WARNING SIGNS IN SEEDED AREAS AND ERECT NECESSARY BARRICADES TO PREVENT DAMAGE BY PERSONS OR MACHINES AND MAINTAIN THESE FOR AT LEAST THIRTY (30) DAYS.
17. REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.
18. THE LANDSCAPE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.
19. PLANT MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.



1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

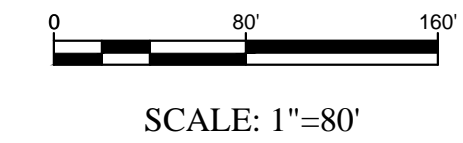
PROFESSIONAL ENGINEER      DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
GENERAL NOTES  
BOLTON, MA

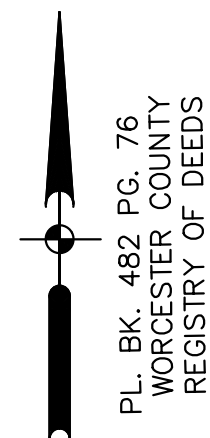
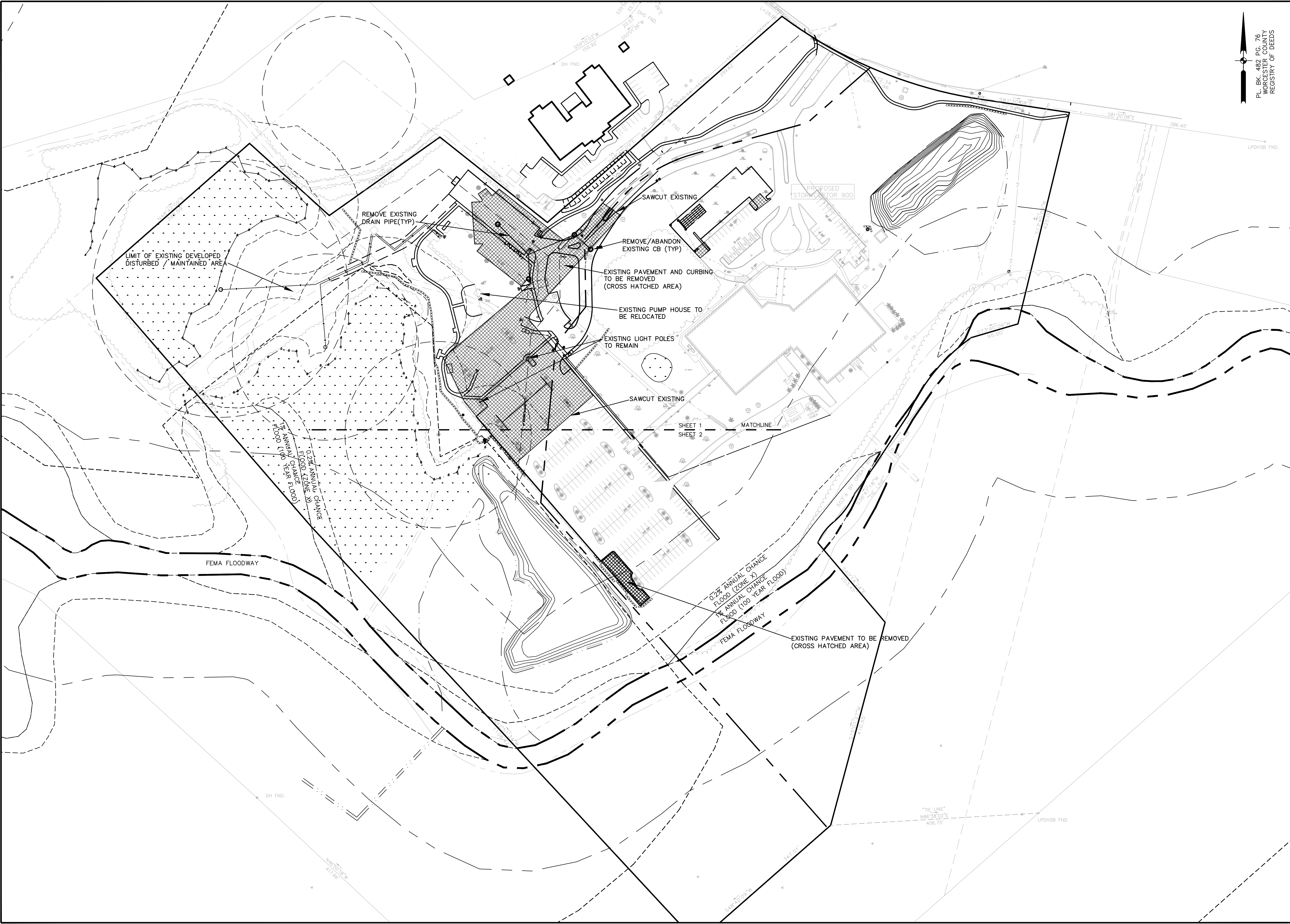
DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

NO.	DATE	DESC.
1	5/5/14	ADD RAIN GARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
3	10/16/14	ANDREW CONSULTANT
4	11/18/14	REVISIONS PER PLANNING BOARD
5	1/06/14	ADDITIONAL REVS PER COMMENT
		ADDITIONAL REVS PER AGENT
		REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740







**CONDYNE**  
**ENGINEERING**  
**GROUP**

1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

**ASSISTED LIVING FACILITY**  
**BOLTON OFFICE PARK**  
**DEMOLITION PLAN**  
**BOLTON, MA**

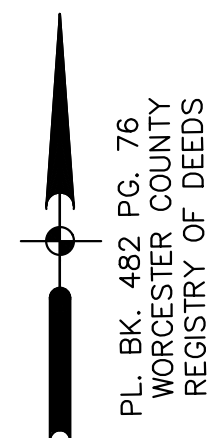
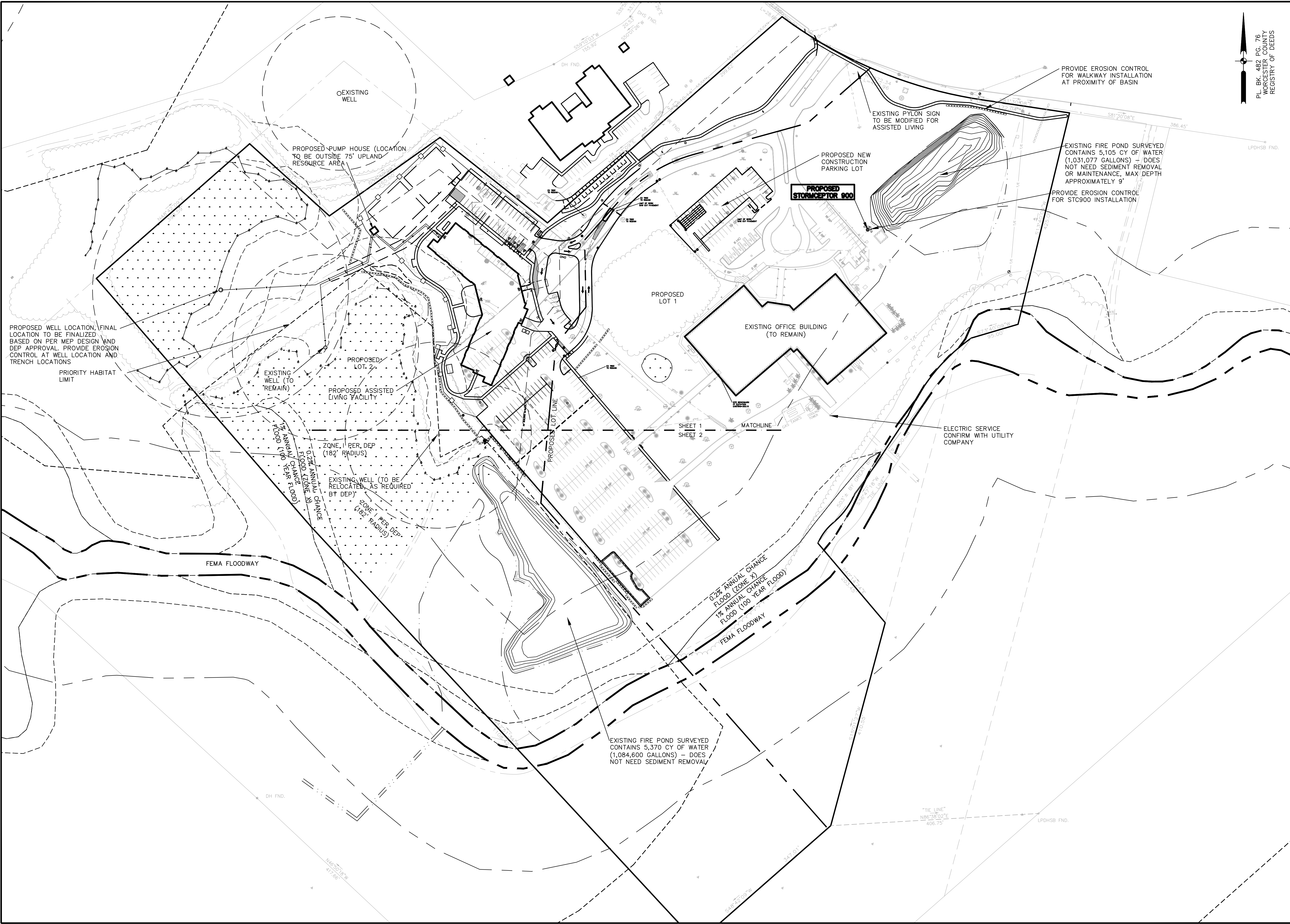
DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISIONS:		
NO.	DATE	DESC.
1	5/5/14	ADD RAINGARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
3	10/16/14	AND REW CONSULTANT
4	11/18/14	ADDITIONAL REVS PER COMMENT
5	1/06/14	ADDITIONAL REVS PER AGENT
		REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 80' 160'  
SCALE: 1"=80'





**CONDYNE ENGINEERING GROUP**

1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER      DATE

**ASSISTED LIVING FACILITY**  
BOLTON OFFICE PARK  
BOLTON, MA

OVERALL PLAN - PROPOSED CONDITIONS

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

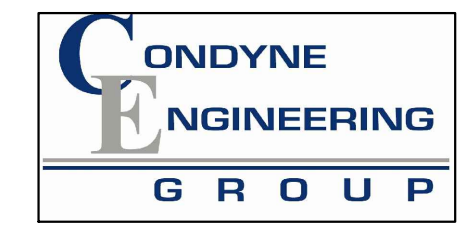
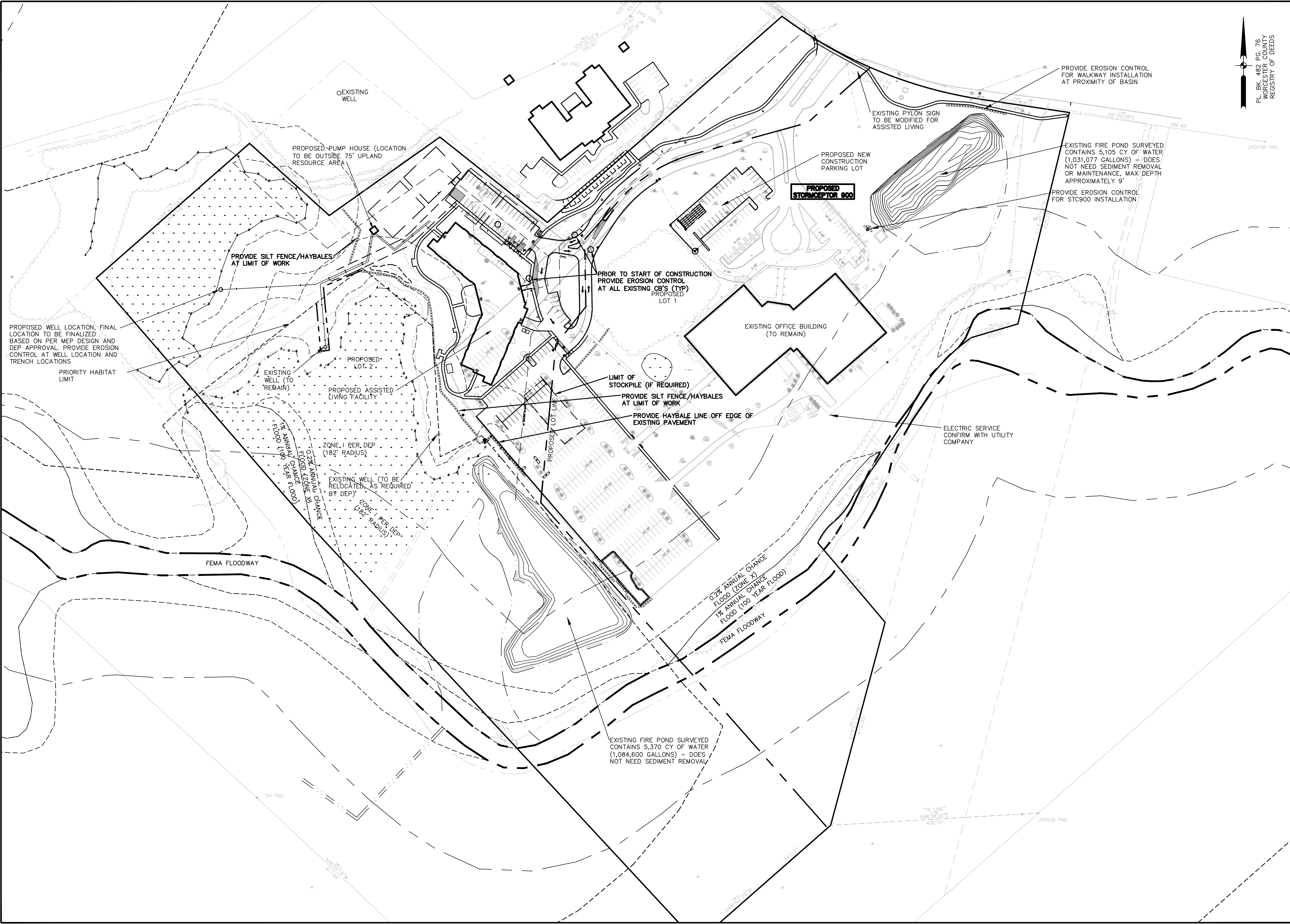
NO.	DATE	DESC.
1	5/5/14	ADD RAINGARDENS, ADD PARKING, MISC REVS PER COMMENT
2	9/26/14	REVISIONS PER PLANNING BOARD AND DEW CONSULTANT
3	10/16/14	ADDITIONAL REVS PER COMMENT
4	11/18/14	ADDITIONAL REVS PER AGENT
5	1/06/14	REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 80' 160'

SCALE: 1"=80'





1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
EROSION AND SEDIMENTATION  
CONTROL PLAN  
BOLTON, MA

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

NO.	DATE	DESC.
1	5/5/14	ADD RAIN GARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
3	10/16/14	REVISIONS PER PLANNING BOARD
4	11/18/14	AND NEW CONSULTANT
5	1/06/14	ADDITIONAL REVS PER COMMENT
6		ADDITIONAL REVS PER AGENT
7		REVS PER PLANNING AND DRB

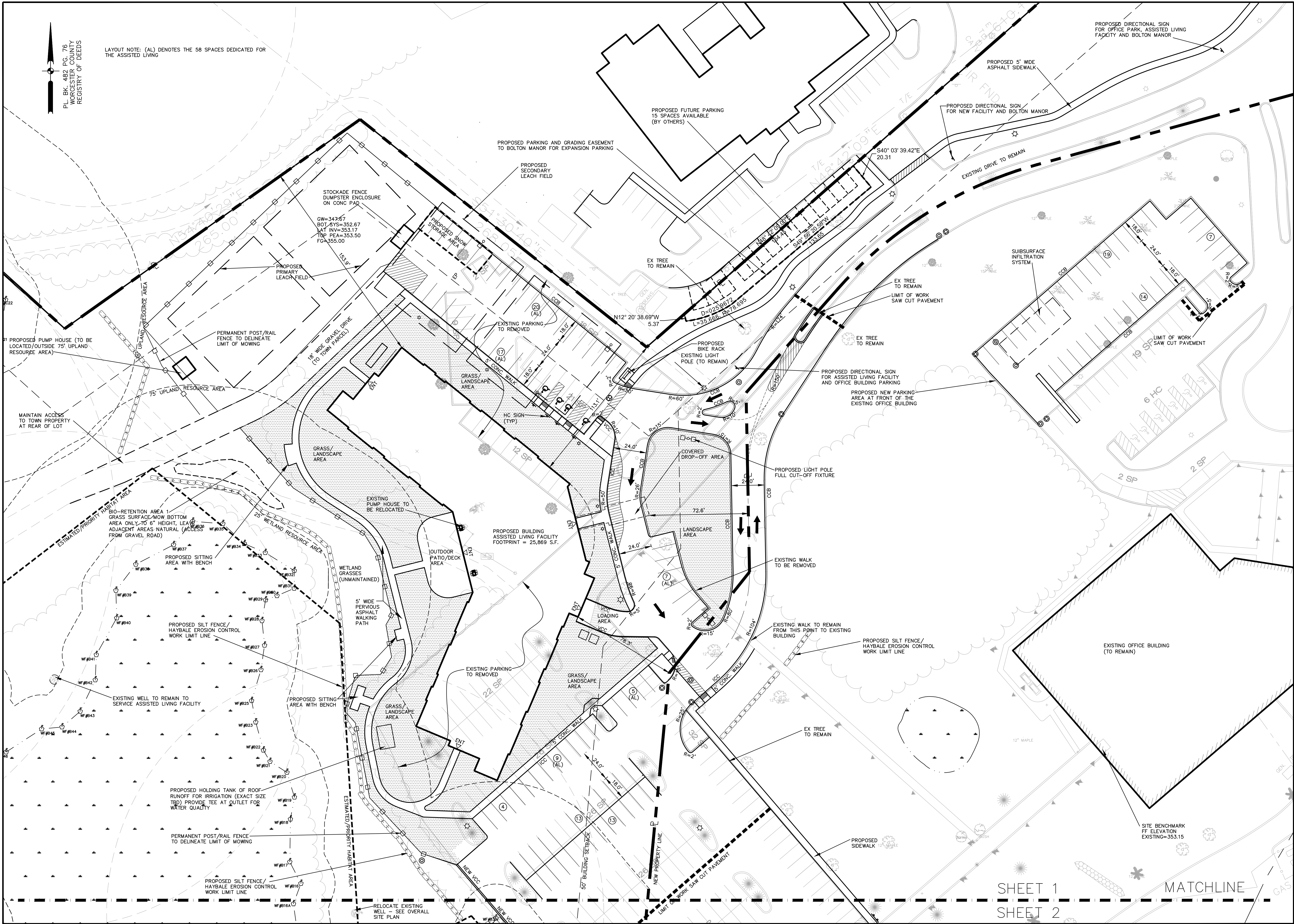
PREPARED FOR:

BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 80' 160'

SCALE: 1"=80'





1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
LAYOUT PLAN SHEET 1 OF 2  
BOLTON, MA

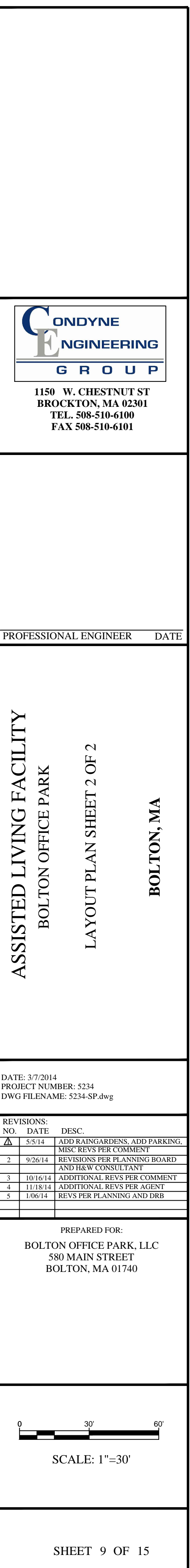
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PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISIONS:	NO.	DATE	DESC.
1	5/5/14		ADD RAINGARDENS, ADD PARKING.
2	9/26/14		MISC REVS PER COMMENT AND NEW CONSULTANT.
3	10/16/14		REVISIONS PER PLANNING BOARD.
4	11/18/14		ADDITIONAL REVS PER COMMENT.
5	1/06/14		ADDITIONAL REVS PER AGENT.
			REVS PER PLANNING AND DRB.

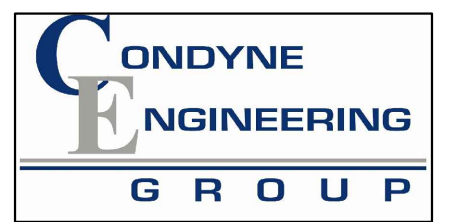
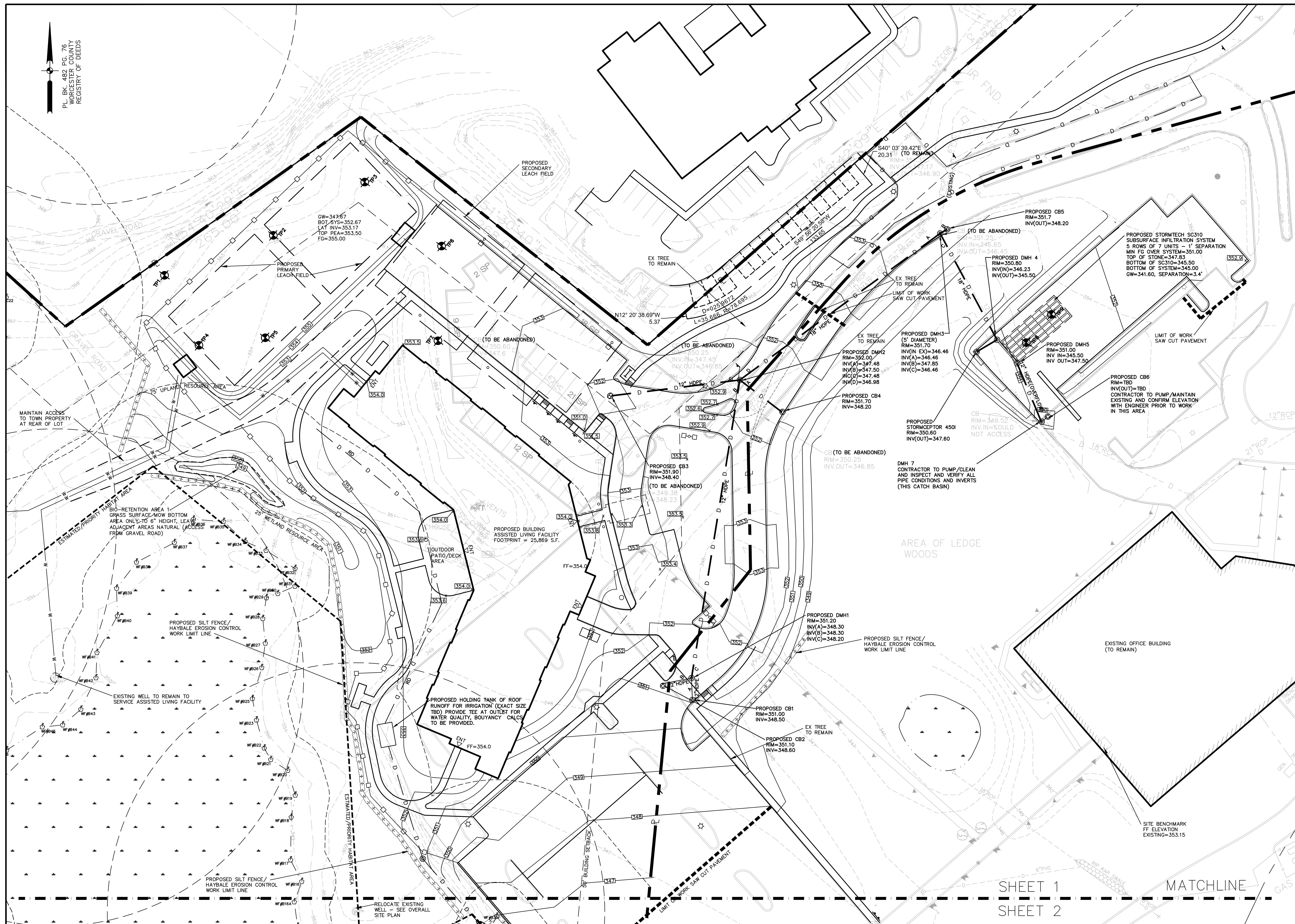
PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 30' 60'  
SCALE: 1"=30'









PROFESSIONAL ENGINEER      DATE

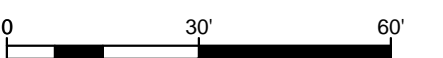
GRADING AND DRAINAGE PLAN SHEET 1 OF 2

**BOLTON, MA**

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISIONS:		
NO.	DATE	DESC.
1	5/5/14	ADD RAINGARDENS, ADD PARKING, MISC REVS PER COMMENT
2	9/26/14	REVISIONS FOR PLANNING BOARD AND H&W CONSULTANT
3	10/16/14	ADDITIONAL REVS PER COMMENT
4	11/18/14	ADDITIONAL REVS PER AGENT
5	1/06/14	REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

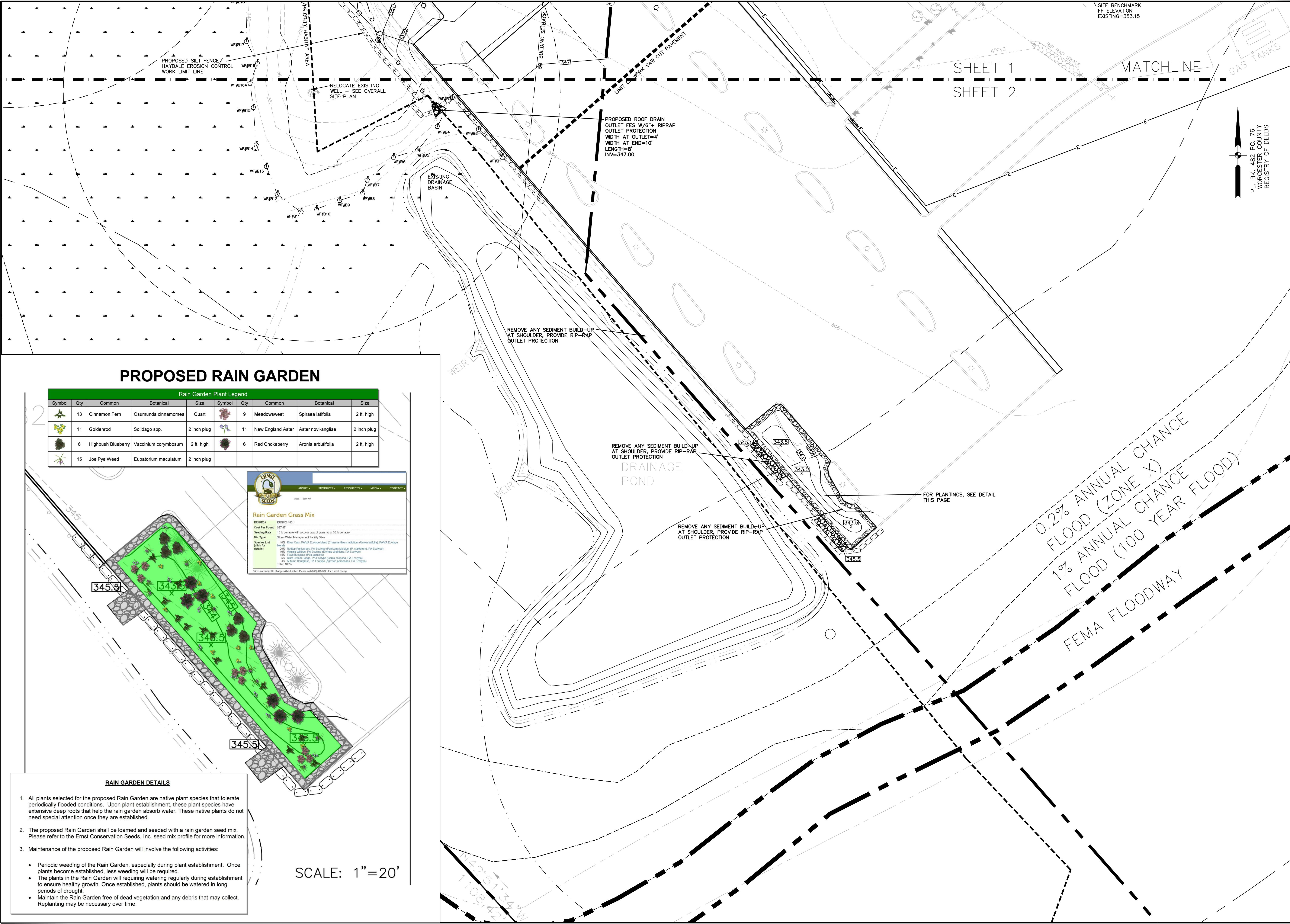


SHEET 10 OF 15

SHEET 1  
SHEET 2

## MATCHLINE





PROPOSED RAIN GARDEN

Rain Garden Plant Legend									
Symbol	Qty	Common	Botanical	Size	Symbol	Qty	Common	Botanical	Size
	13	Cinnamon Fern	Osmunda cinnamomea	Quart		11	Goldenrod	Solidago spp.	2 inch plug
	6	Highbush Blueberry	Vaccinium corymbosum	2 ft. high		6	Red Chokeberry	Aronia arbutifolia	2 ft. high
	15	Joe Pye Weed	Eupatorium maculatum	2 inch plug					

**Rain Garden Grass Mix**

**ERNS** ERN000X-100-1

Cost Per Pound: \$27.87

Seeding Rate: 15 lb per acre with a cover crop of grain type at 30 lb per acre

**Mix Type:** Storm Water Management Erosion Control

**Species List (click for details):**

- 40% River Grass, PAVIA Ecotype Blend (Chenopodium latifolium (Shade Intolerant), PAVIA Ecotype Blend)
- 20% Shrub Prairie, PAVIA Ecotype Blend (Spiraea latifolia (Shade Intolerant), PAVIA Ecotype Blend)
- 10% Shrub Prairie, PAVIA Ecotype Blend (Spiraea latifolia (Shade Intolerant), PAVIA Ecotype Blend)
- 10% Shrub Prairie, PAVIA Ecotype Blend (Spiraea latifolia (Shade Intolerant), PAVIA Ecotype Blend)
- 10% Shrub Prairie, PAVIA Ecotype Blend (Spiraea latifolia (Shade Intolerant), PAVIA Ecotype Blend)
- 10% Shrub Prairie, PAVIA Ecotype Blend (Spiraea latifolia (Shade Intolerant), PAVIA Ecotype Blend)

Total: 100%

Please are subject to change without notice. Please call (800) 875-0001 for current pricing.

RAIN GARDEN DETAILS

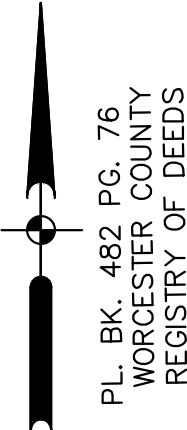
- All plants selected for the proposed Rain Garden are native plant species that tolerate periodically flooded conditions. Upon plant establishment, these plant species have extensive deep roots that help the rain garden absorb water. These native plants do not need special attention once they are established.
- The proposed Rain Garden shall be loamed and seeded with a rain garden seed mix. Please refer to the Ernst Conservation Seeds, Inc. seed mix profile for more information.
- Maintenance of the proposed Rain Garden will involve the following activities:
  - Periodic weeding of the Rain Garden, especially during plant establishment. Once plants become established, less weeding will be required.
  - The plants in the Rain Garden will require watering regularly during establishment to ensure healthy growth. Once established, plants should be watered in long periods of drought.
  - Maintain the Rain Garden free of dead vegetation and any debris that may collect. Replanting may be necessary over time.

SCALE: 1"=20'

SITE BENCHMARK  
FF ELEVATION  
EXISTING=353.15

SHEET 1  
SHEET 2

MATCHLINE



P.L. BK. 482 PG. 76  
WORCESTER COUNTY  
REGISTRY OF DEEDS

1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
GRADING AND DRAINAGE PLAN SHEET 2 OF 2  
BOLTON, MA

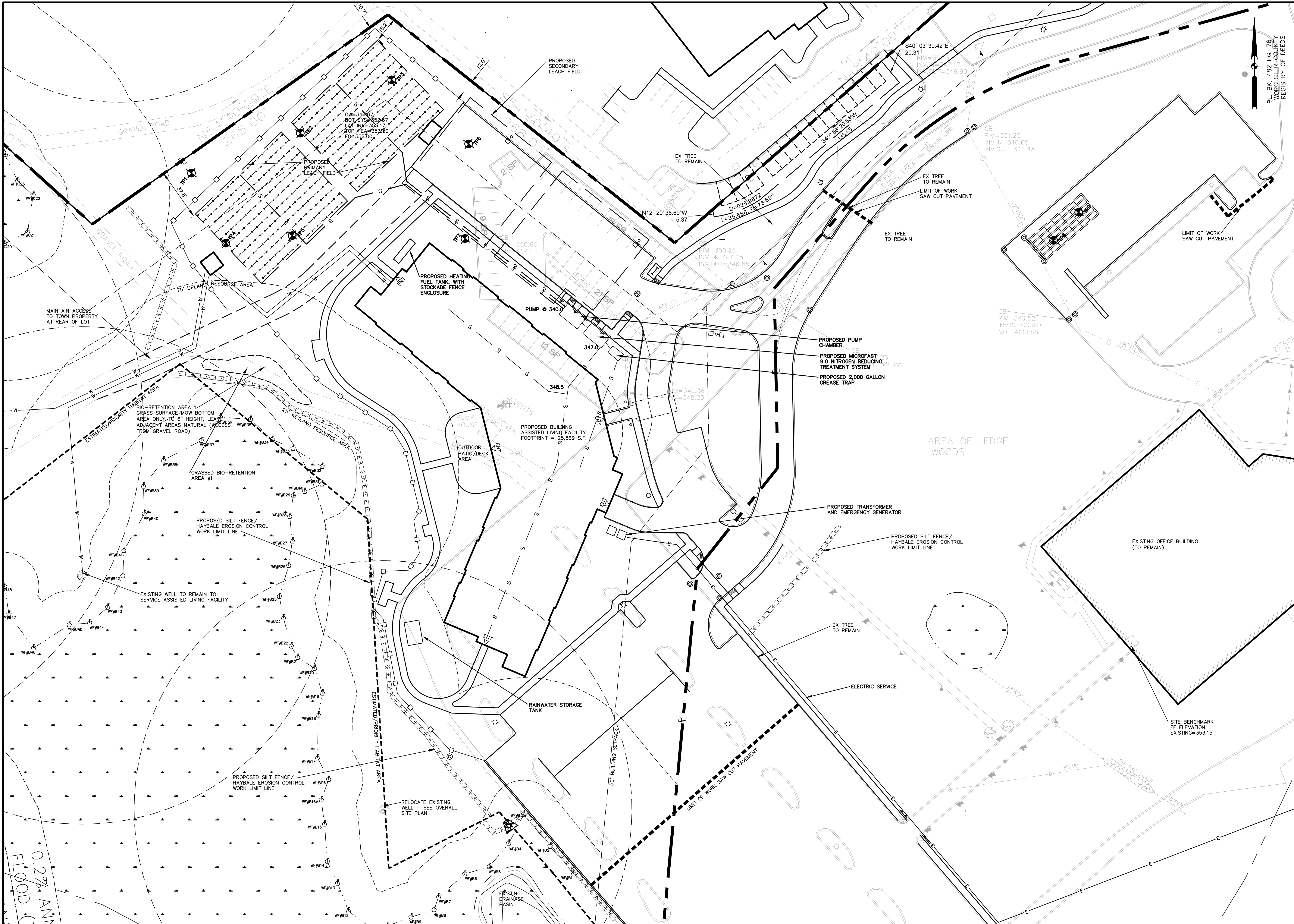
DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

NO.	DATE	DESC.
1	5/5/14	ADD RAIN GARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
3		REVISIONS PER PLANNING BOARD
4		AND NEW CONSULTANT
5	10/16/14	ADDITIONAL REVS PER COMMENT
6	11/18/14	ADDITIONAL REVS PER AGENT
7	1/06/14	REVS PER PLANNING AND DRB

PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 30' 60'  
SCALE: 1"=30'





**CONDYNE**  
**ENGINEERING**  
**GROUP**

1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

**ASSISTED LIVING FACILITY**  
**BOLTON OFFICE PARK**  
**UTILITY PLAN**  
**BOLTON, MA**

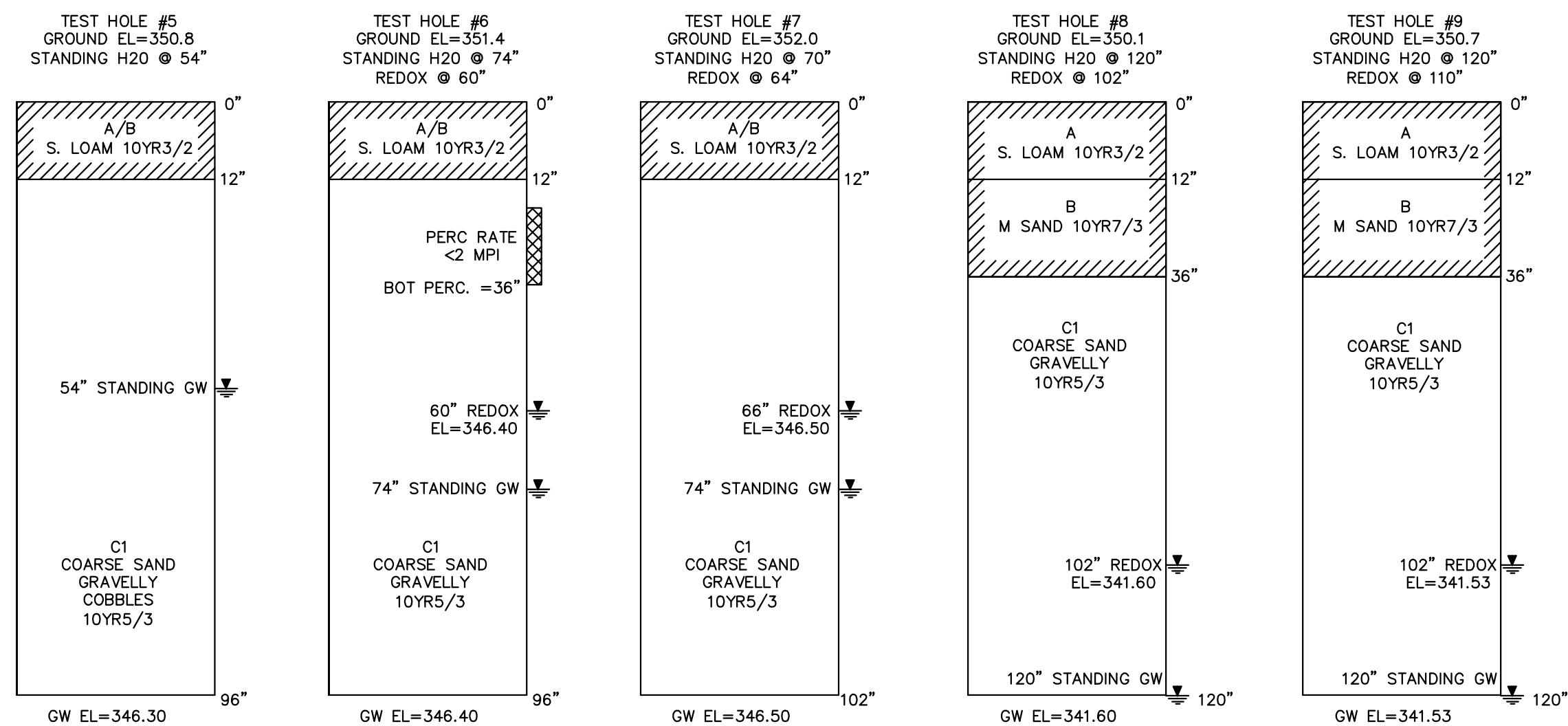
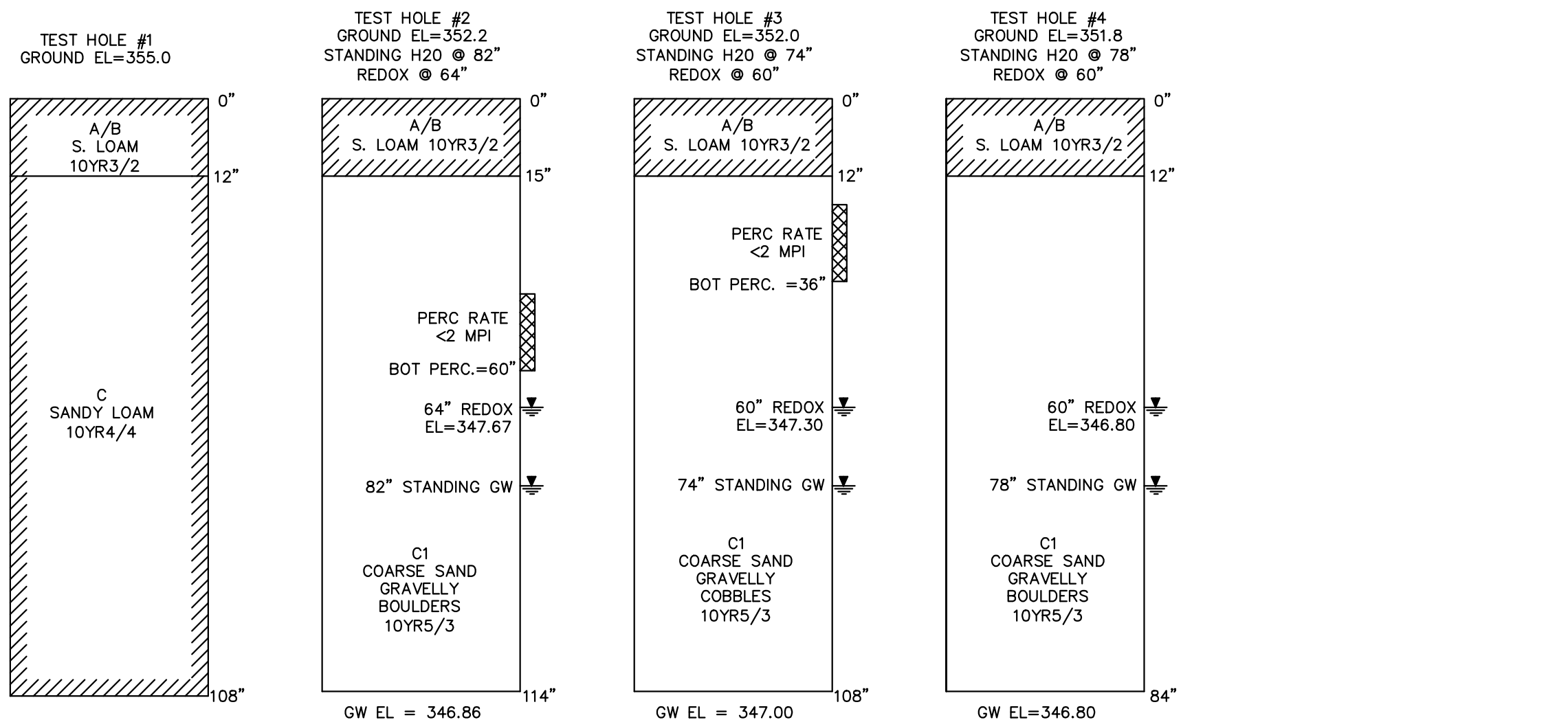
DATE: 3/7/2014  
PROJECT NUMBER: 5234  
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NO.	DATE	DESC.
1	5/5/14	ADD RAINGARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
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5	1/06/14	ADDITIONAL REVS PER COMMENT
6	1/06/14	ADDITIONAL REVS PER AGENT
7	1/06/14	REVS PER PLANNING AND DRB

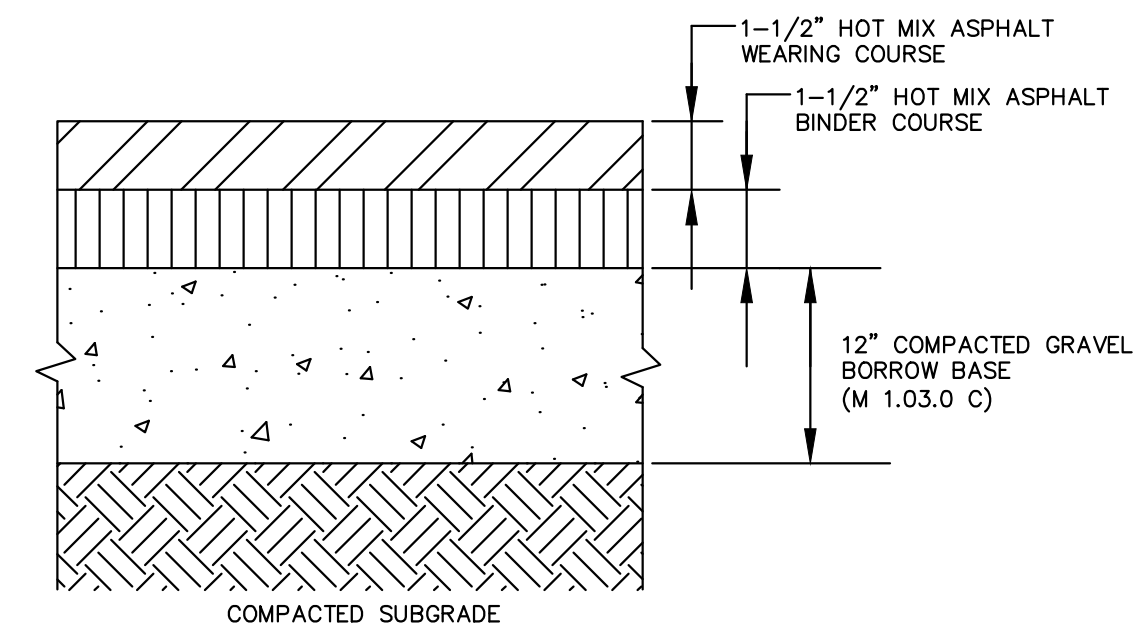
PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740

0 30' 60'  
SCALE: 1"=30'

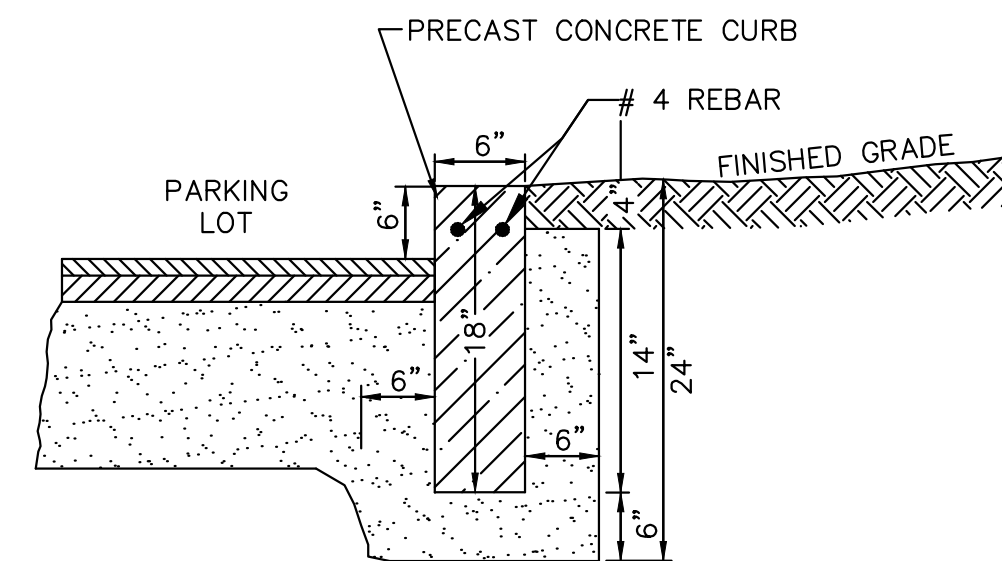




TEST HOLES AND PERCOLATION TESTS



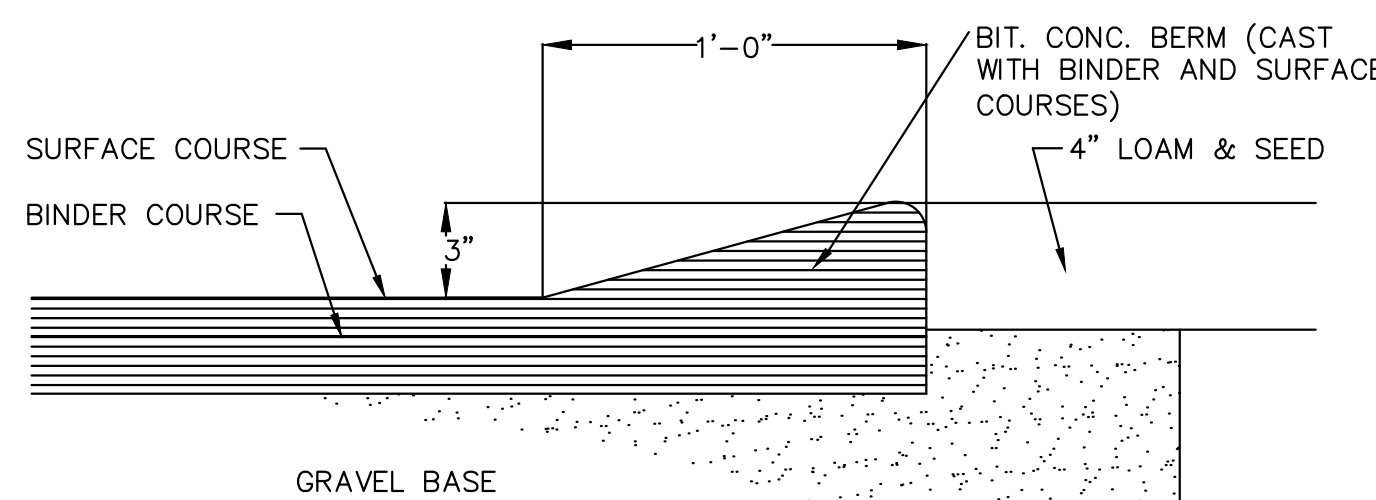
HOT MIX ASPHALT PAVEMENT SECTION  
CAR PARKING AREAS AND DRIVEWAYS



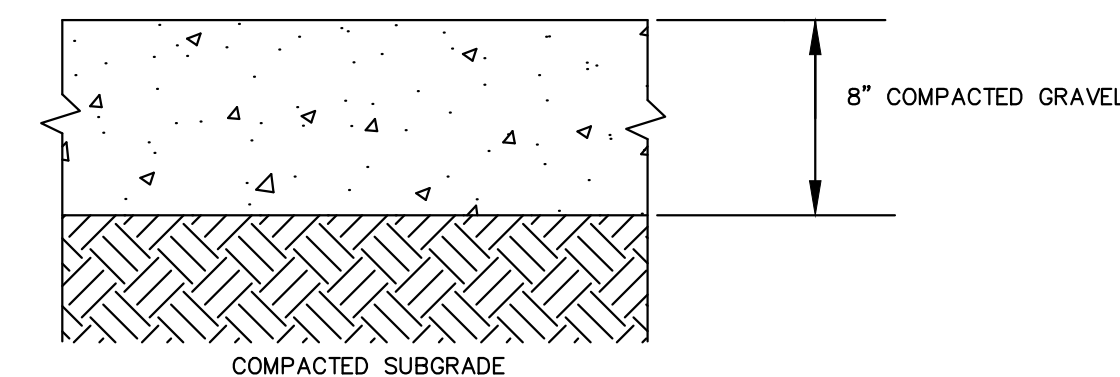
VERTICAL CONCRETE CURB (VCC)

NOTES:

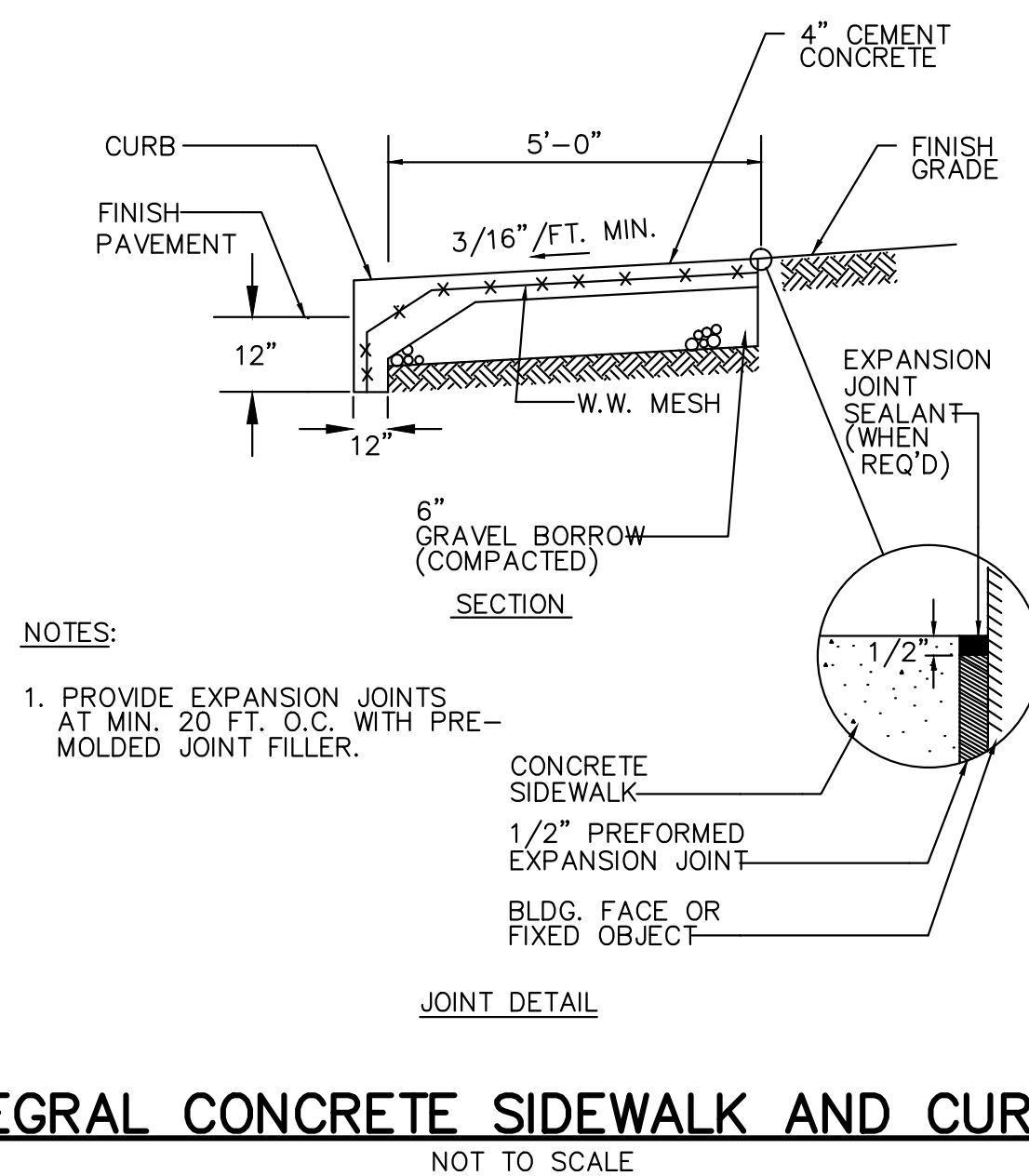
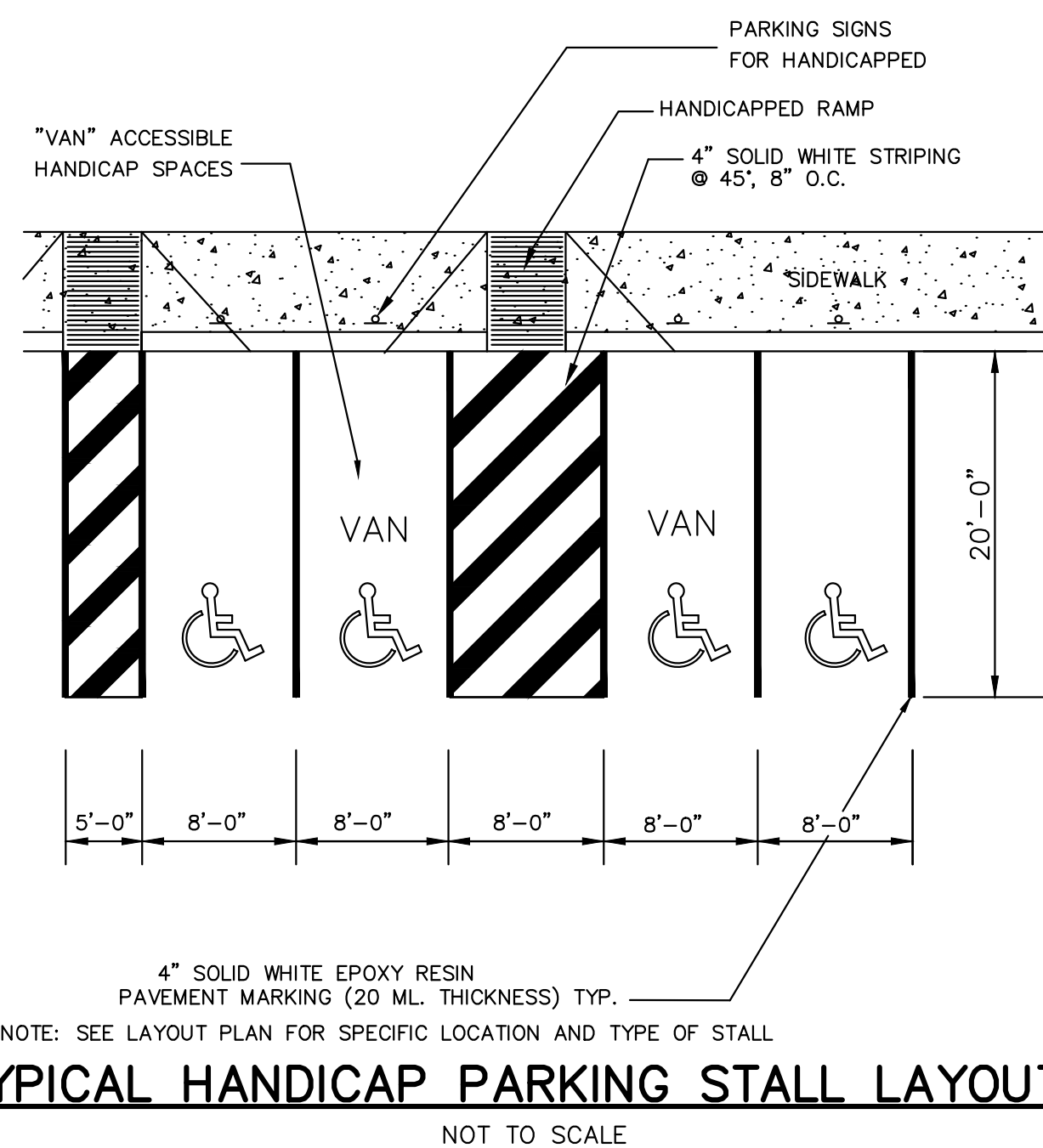
- CURB INSTALLATION ALONG EXISTING ROAD PAVEMENT SHALL BE SAW CUT AND PATCHED WITH A 1-1/2" BITUMINOUS 3/4" GRADE BINDER COURSE, AND TOPPED WITH A 1-1/2" WEAR COURSE OF TYPE "I". THE CUT JOINT SHALL BE THOROUGHLY SEALED WITH ASPHALT EMULSION AND SAND.
- CONCRETE TO BE AIR ENTRAINED CLASS D CONFORMING TO MHD M4.02.00.
- GROUTING OF CURB JOINTS TO BE NON-SHRINK GROUTING CONFORMING TO ASTM C-827.



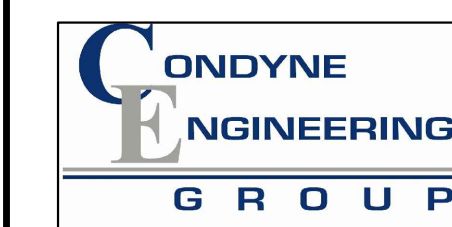
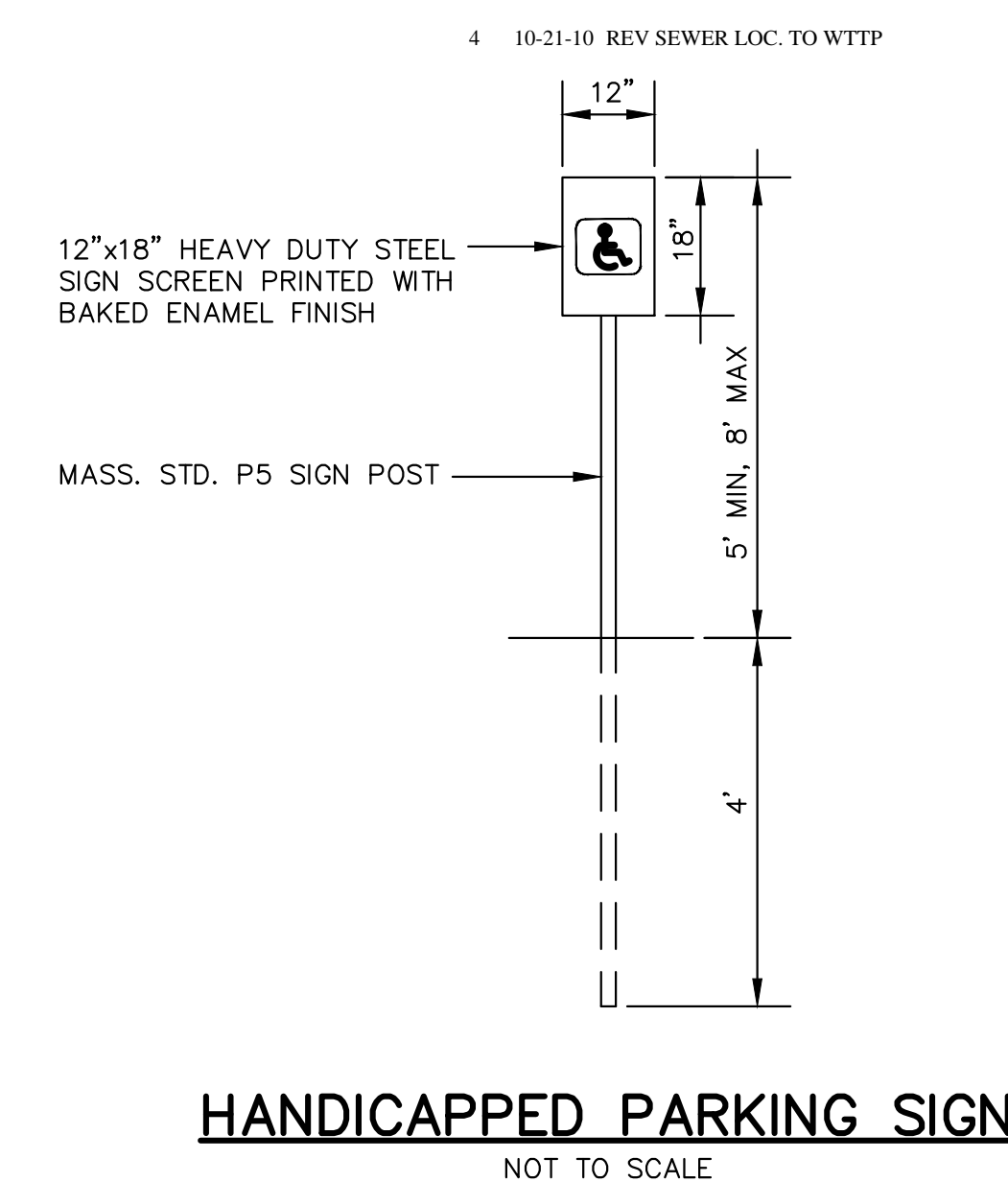
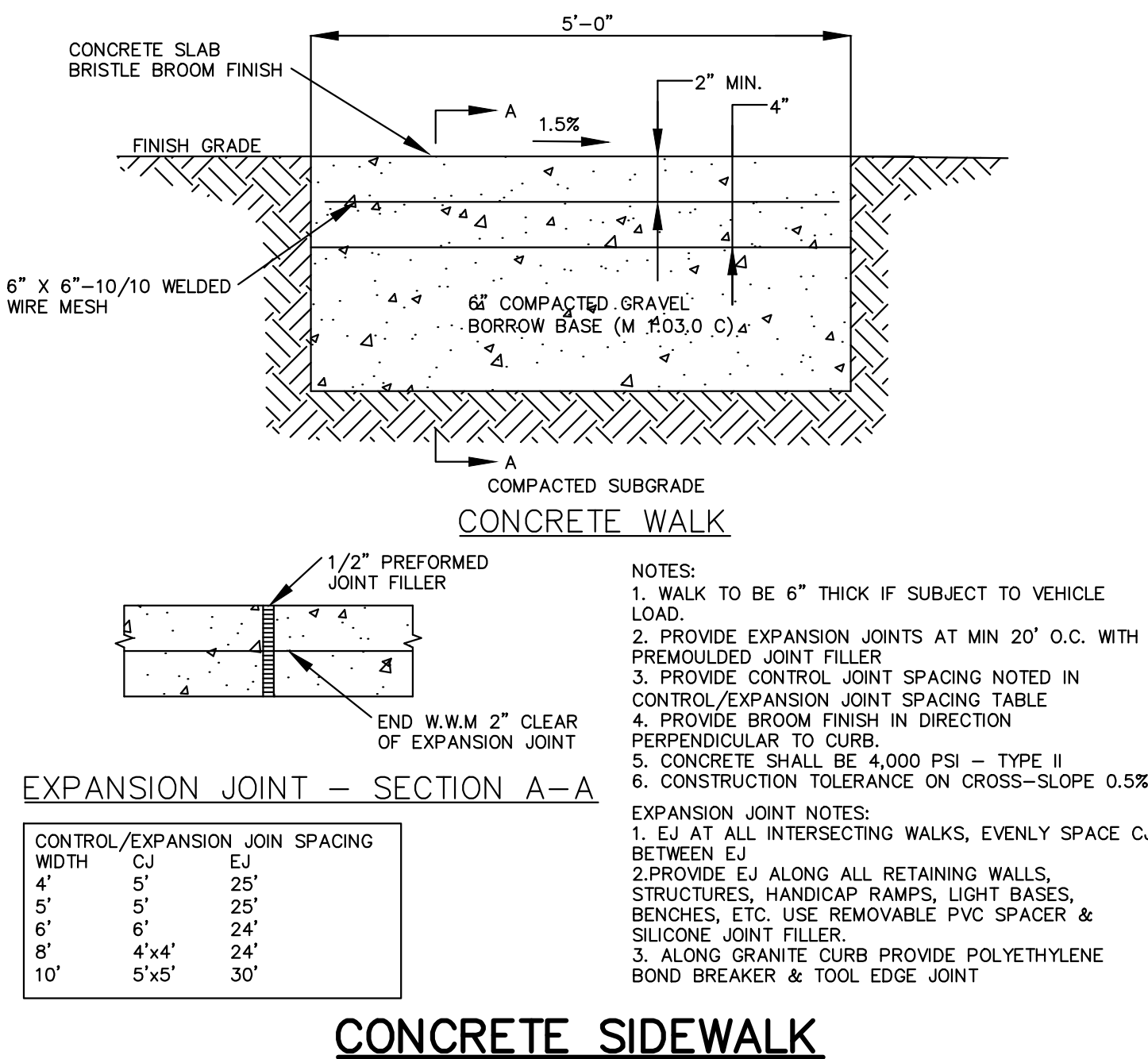
BITUMINOUS CONCRETE CAPE COD BERM (CCB)  
NOT TO SCALE



GRAVEL ACCESS DRIVE  
NOT TO SCALE



INTEGRAL CONCRETE SIDEWALK AND CURB (ICC)  
NOT TO SCALE



1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

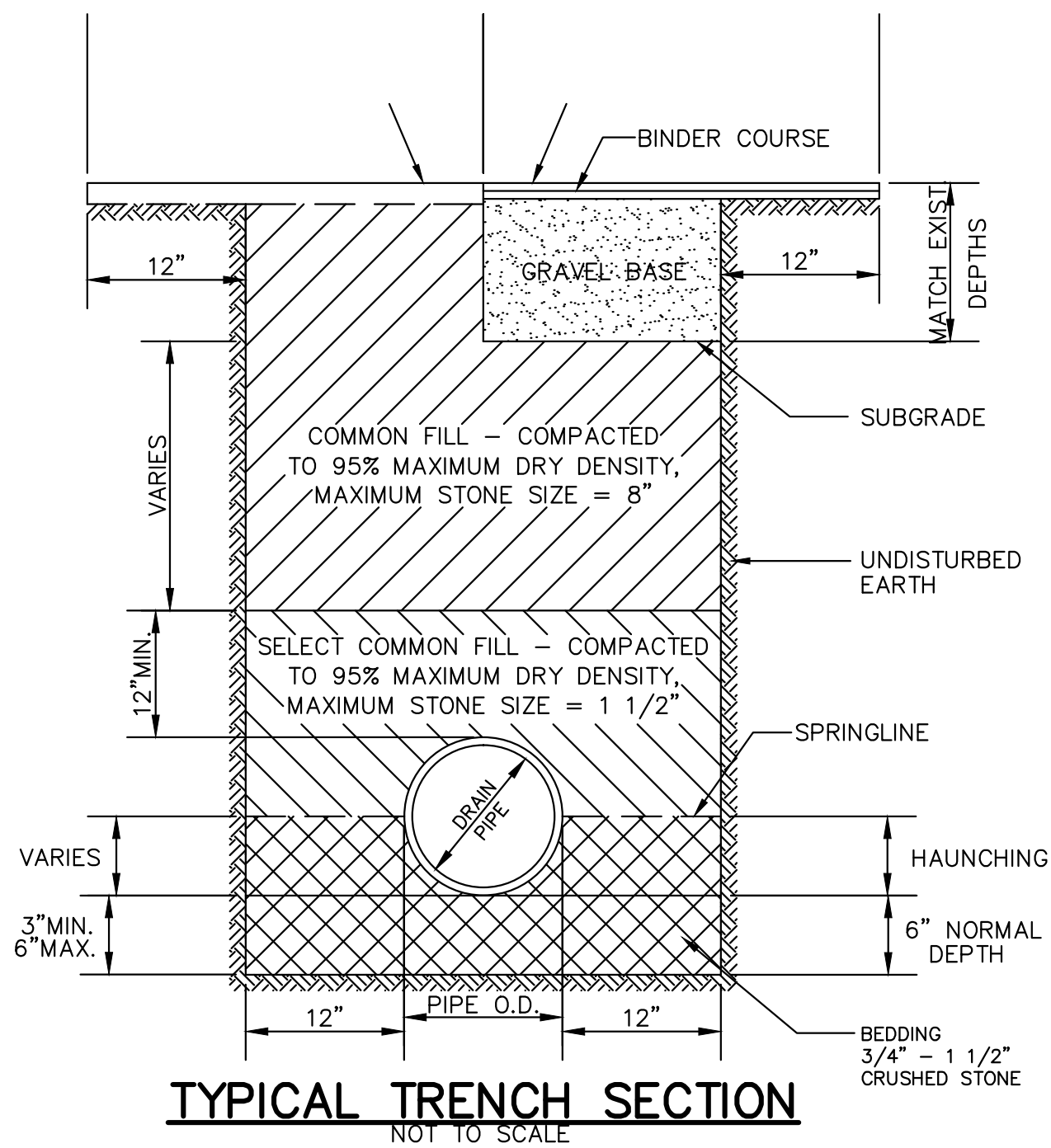
ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
SITE DETAILS  
BOLTON, MA

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

REVISIONS:	NO.	DATE	DESC.
	1	5/5/14	ADD RAINGARDENS, ADD PARKING.
	2	9/26/14	MISC REVS PER COMMENT AND REV CONSULTANT
	3	10/16/14	ADDITIONAL REVS PER COMMENT
	4	11/18/14	ADDITIONAL REVS PER AGENT
	5	1/06/14	REVS PER PLANNING AND DRB

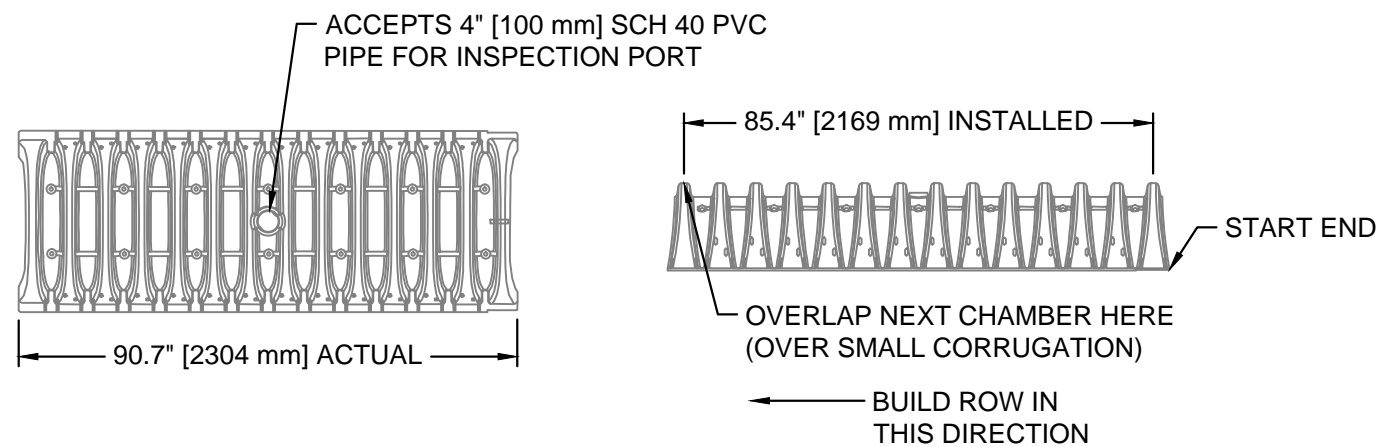
PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740





## STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
- CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
  - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET. THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2922 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
- CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.



NOMINAL CHAMBER SPECIFICATIONS				
SIZE (W x H x INSTALLED LENGTH)				
CHAMBER STORAGE				
MINIMUM INSTALLED STORAGE				
WEIGHT				
	34.0" x 16.0" x 85.4"	864 mm x 406 mm x 2169 mm		
	14.7 CUBIC FEET	[0.42 m³]		
	31.0 CUBIC FEET	[0.88 m³]		
	35 lbs.	[16.8 kg]		

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

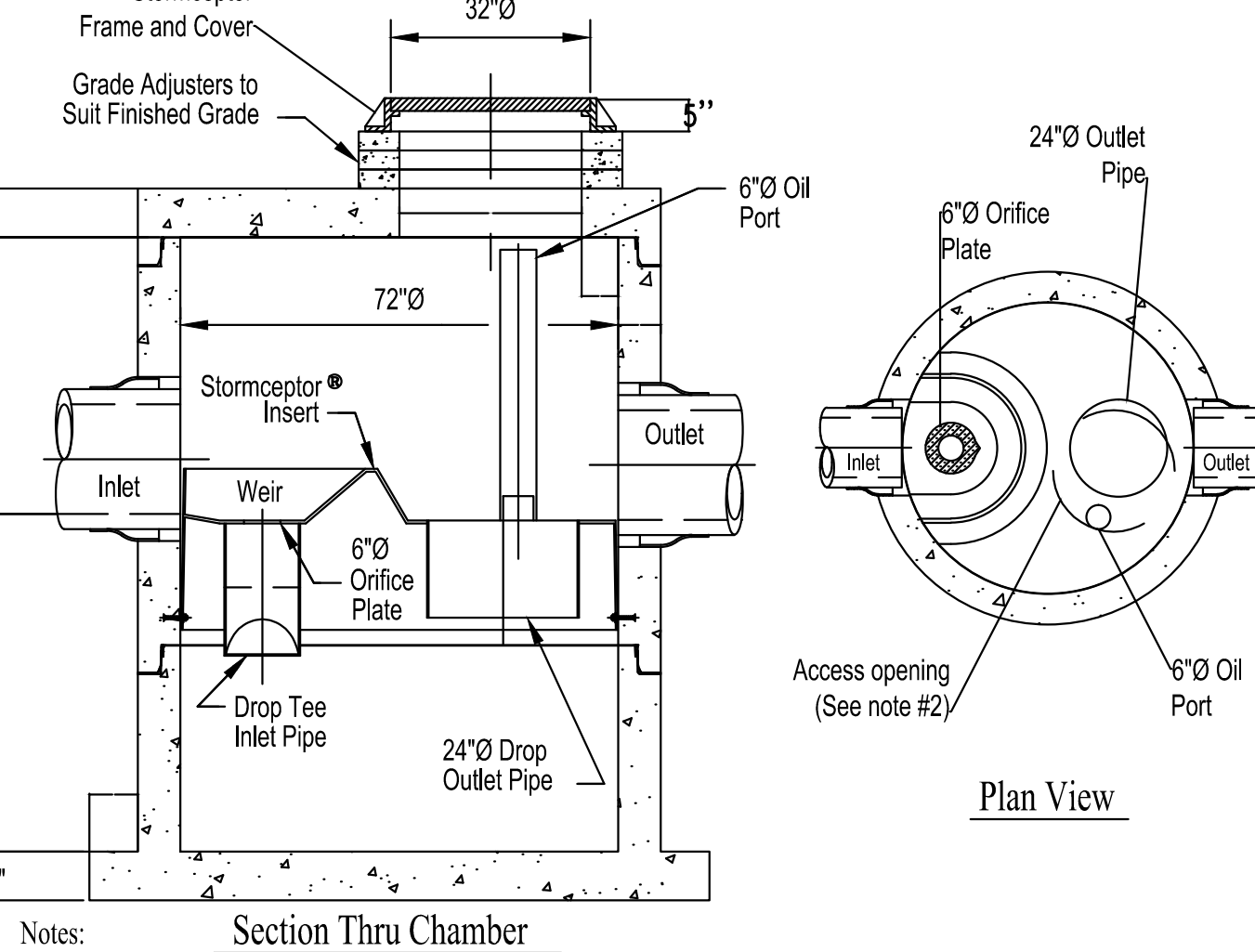
PART#	STUB	A	B	C
SC310EPE06T	6" [150 mm]	9.60" [244 mm]	5.80" [147 mm]	N/A
SC310EPE06B	6" [150 mm]	9.60" [244 mm]	N/A	0.50" [13 mm]
SC310EPE08T	8" [200 mm]	11.90" [302 mm]	3.50" [89 mm]	N/A
SC310EPE08B	8" [200 mm]	11.90" [302 mm]	N/A	0.60" [15 mm]
SC310EPE10T	10" [250 mm]	12.70" [323 mm]	1.40" [36 mm]	N/A
SC310EPE10B	10" [250 mm]	12.70" [323 mm]	N/A	0.70" [18 mm]
SC310EPE12B	12" [300 mm]	13.50" [343 mm]	N/A	0.90" [23 mm]

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

\*FOR THE SC310EPE12B THE 12" [300 mm] STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" [6 mm]. BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

## Rinker Concrete Pipe Division

### STC 900 Precast Concrete Stormceptor® (900 U.S. Gallon Capacity)



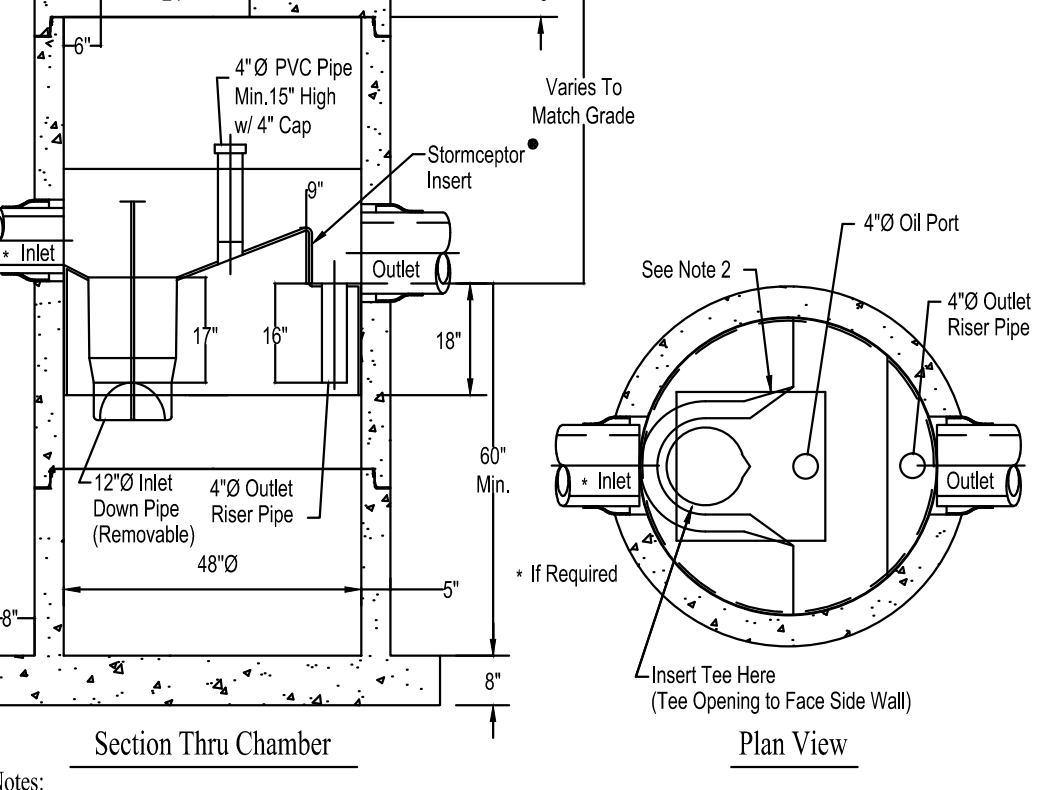
- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  - The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

### STORMCEPTOR 900

NOT TO SCALE

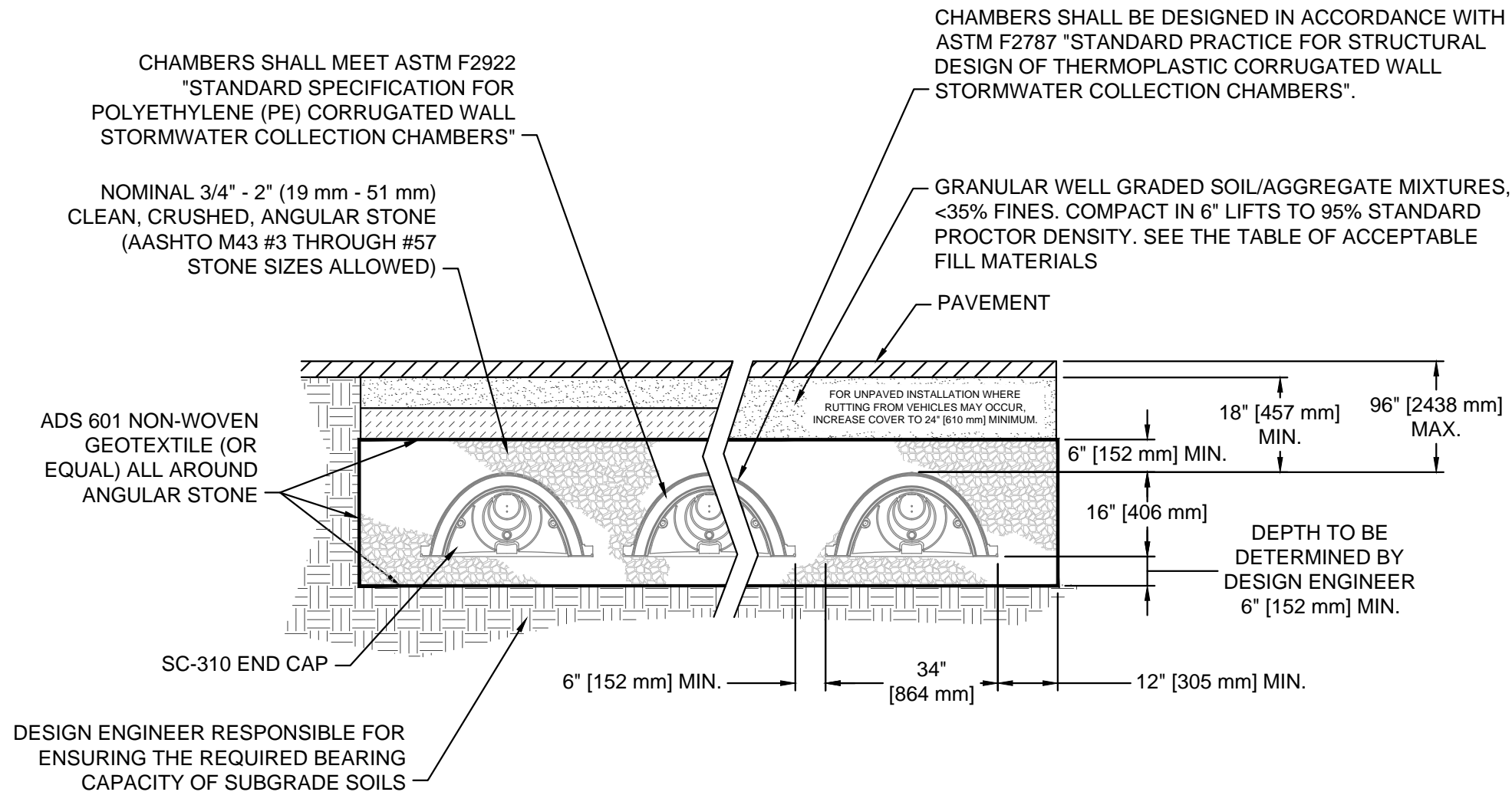
## Rinker Concrete Pipe Division

### STC 450i Precast Concrete Stormceptor (450 U.S. Gallon Capacity)



- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  - The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
  - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

### STORMCEPTOR 450i



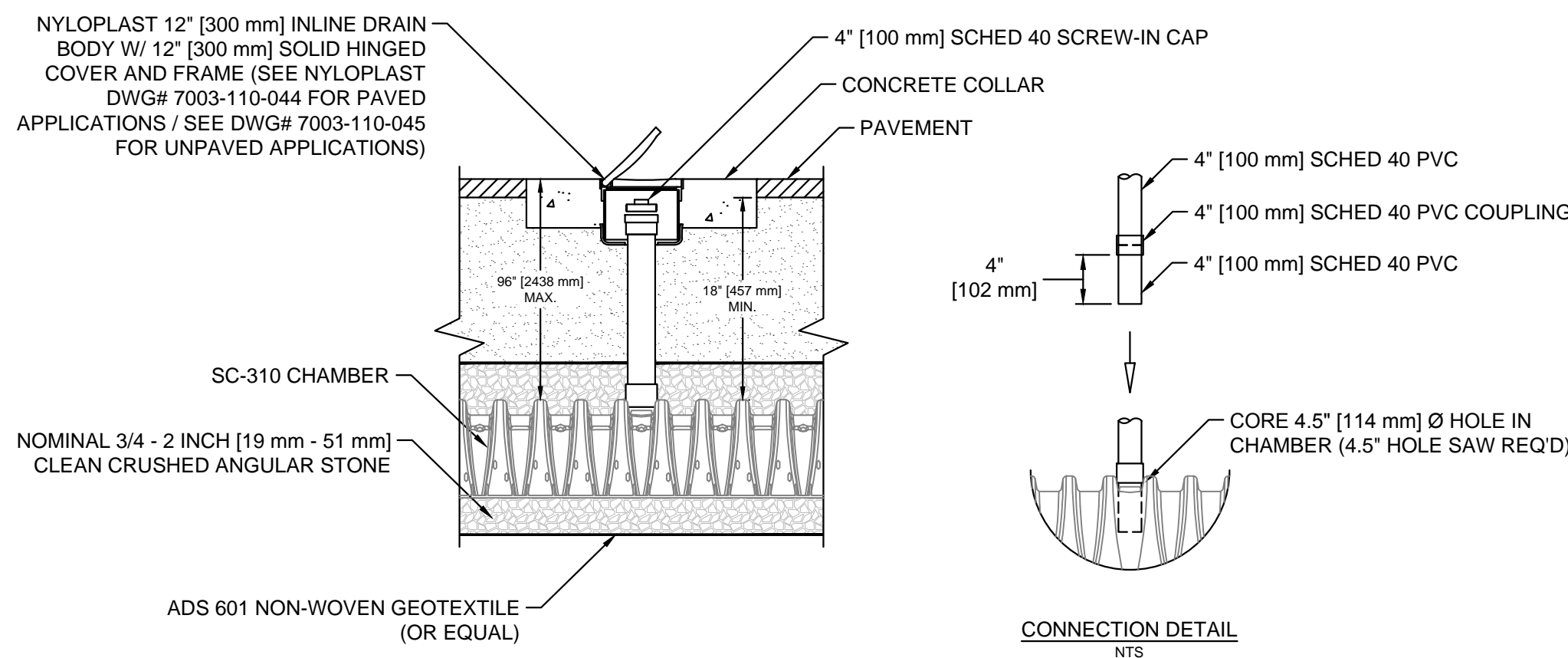
THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

## SC-310 TYPICAL SECTION

NOT TO SCALE

### NOTES:

- INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
- ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



## SC-310 INSPECTION PORT DETAIL

NOT TO SCALE

### GENERAL NOTES - SEDIMENTATION AND EROSION CONTROL

The Contractor shall provide sediment control at 1) all points where project waters leave the limits of the project, 2) all points where project waters enter a stream that traverses the project and 3) all points where project waters enter portions of completed underground piping.

Accepted methods of providing erosion/sediment control include but are not limited to: Sediment basins, Silt fence, Temporary ground cover.

All disturbed areas which will remain unworked for 14 days or more shall be seeded. Other sediment controls which are installed shall be maintained until the vegetation growth on the area is established.

The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

The Contractor shall provide adequate drainage (consistent with sediment/erosion practices) of the work area at all times.

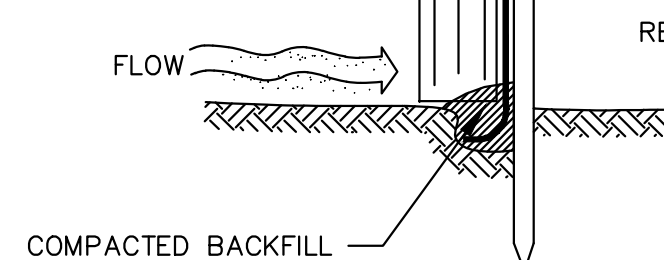
Filter barriers shall be inspected after each rainfall and at least daily during prolonged rainfall.

Necessary repairs to damaged barriers and/or replacement of same shall be accomplished immediately.

Sediment deposits shall be removed after each rainfall or when level of deposit reaches approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the barriers are no longer required shall be regraded as necessary and seeded.

STAKED IN PLACE GTF 101S-EXXON GEO TEXTILE FABRIC SILTATION FENCE OR APPROVED EQUAL.

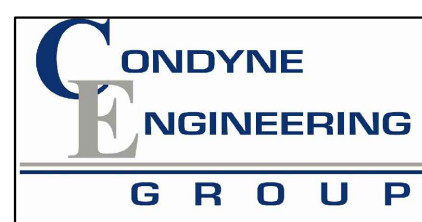


### NOTES:

- EROSION CONTROL DEVICES ARE TO BE PLACED PRIOR TO CONSTRUCTION AND ARE TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND NEW SLOPES HAVE BEEN STABILIZED.
- EROSION CONTROL DEVICES SHALL BE PLACED IN A ROW, ALONG CONTOURS.
- THE EROSION CONTROL DEVICES SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 6".
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY.
- APPROVAL OF EROSION CONTROL DEVICES IS TO BE DONE BY THE CONSERVATION COMMISSION PRIOR TO CONSTRUCTION.

## EROSION CONTROL MEASURES

NOT TO SCALE



1150 W. CHESTNUT ST  
BROCKTON, MA 02301  
TEL. 508-510-6100  
FAX 508-510-6101

PROFESSIONAL ENGINEER DATE

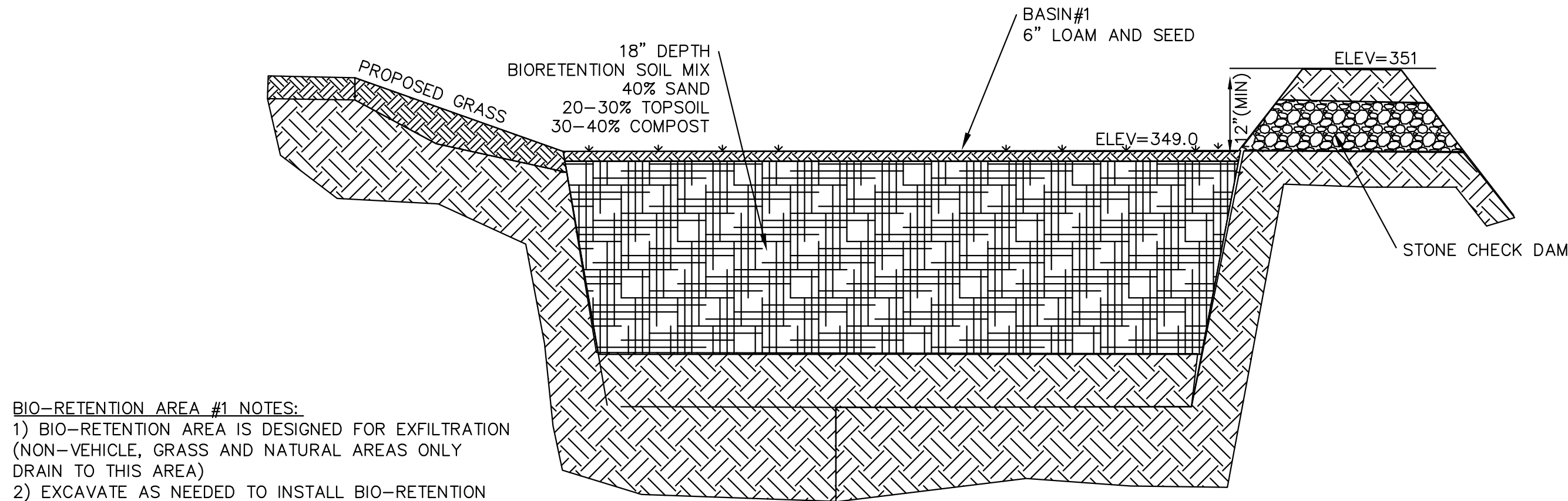
ASSISTED LIVING FACILITY  
BOLTON OFFICE PARK  
SITE DETAILS  
BOLTON, MA

DATE: 3/7/2014  
PROJECT NUMBER: 5234  
DWG FILENAME: 5234-SP.dwg

NO.	DATE	DESC.
1	5/5/14	ADD RAINGARDENS, ADD PARKING.
2	9/26/14	MISC REVS PER COMMENT
3		REVISIONS PER PLANNING BOARD
4		AND NEW CONSULTANT
5	10/16/14	ADDITIONAL REVS PER COMMENT
6	11/18/14	ADDITIONAL REVS PER AGENT
7	1/06/14	REVS PER PLANNING AND DRB

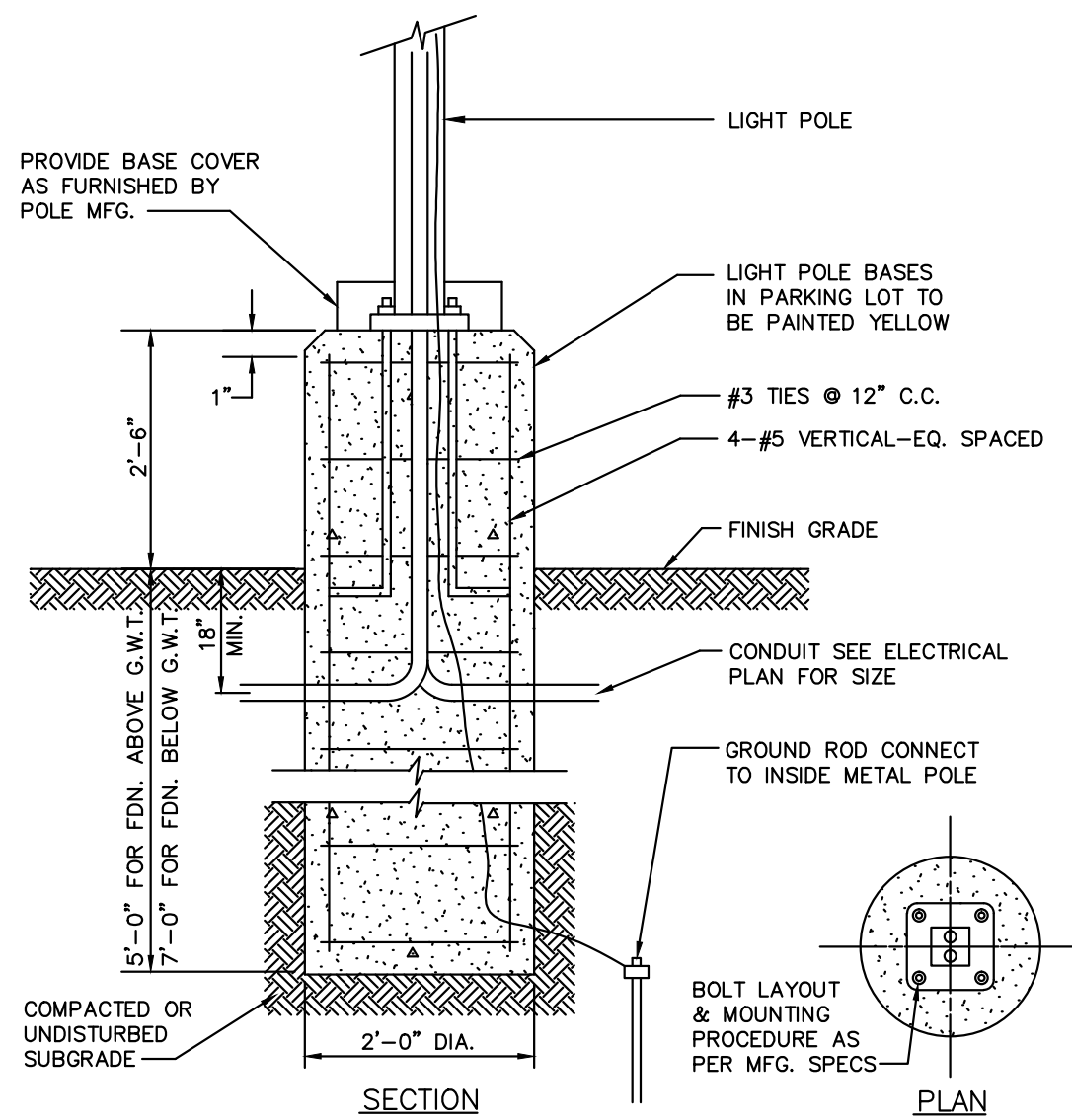
PREPARED FOR:  
BOLTON OFFICE PARK, LLC  
580 MAIN STREET  
BOLTON, MA 01740



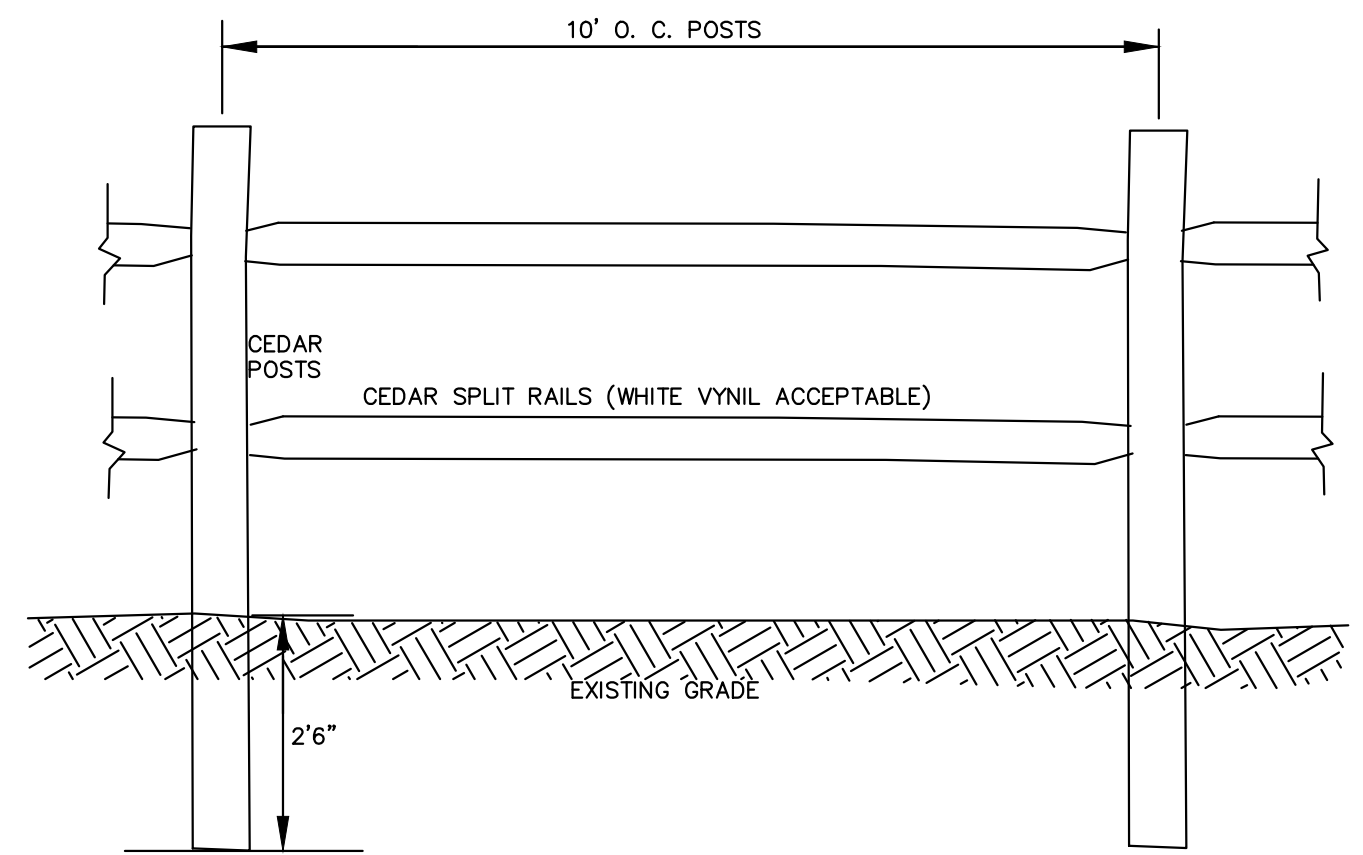


**BIO-RETENTION AREA #1 NOTES:**  
1) BIO-RETENTION AREA IS DESIGNED FOR EXFILTRATION (NON-VEHICLE, GRASS AND NATURAL AREAS ONLY DRAIN TO THIS AREA)  
2) EXCAVATE AS NEEDED TO INSTALL BIO-RETENTION SOIL

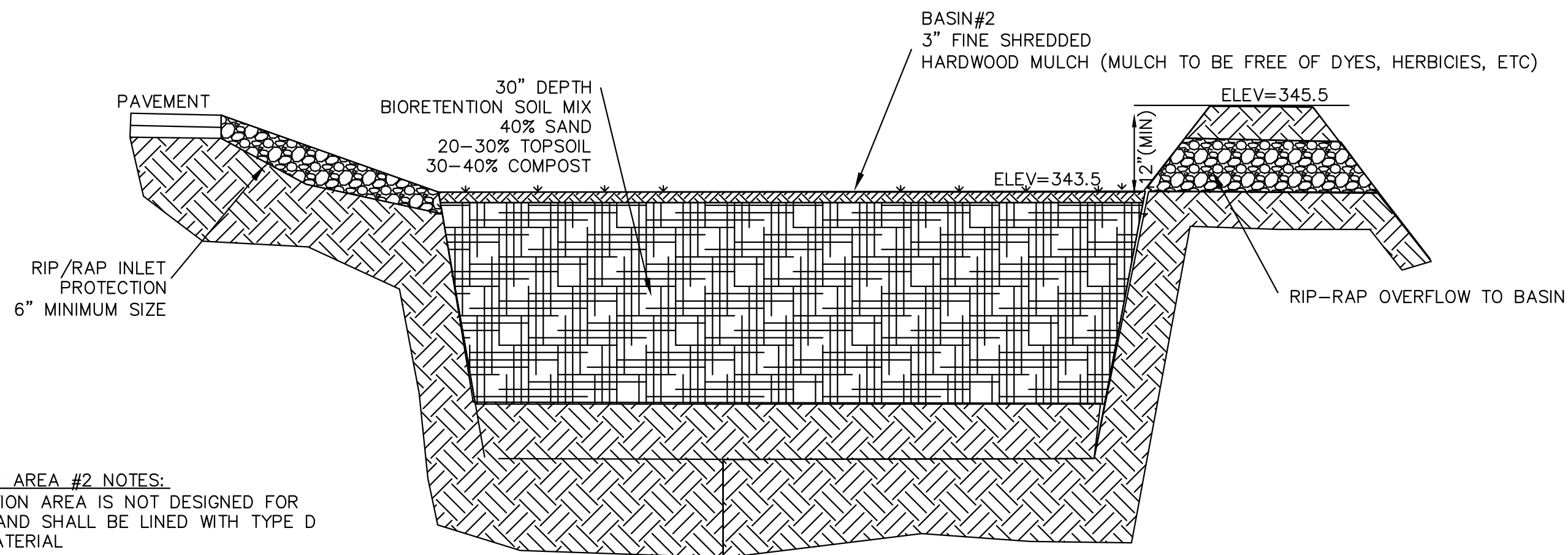
**BIORETENTION AREA #1**  
**SECTION A-A**  
NOT TO SCALE



**LIGHT POLE INSTALLATION**  
NOT TO SCALE

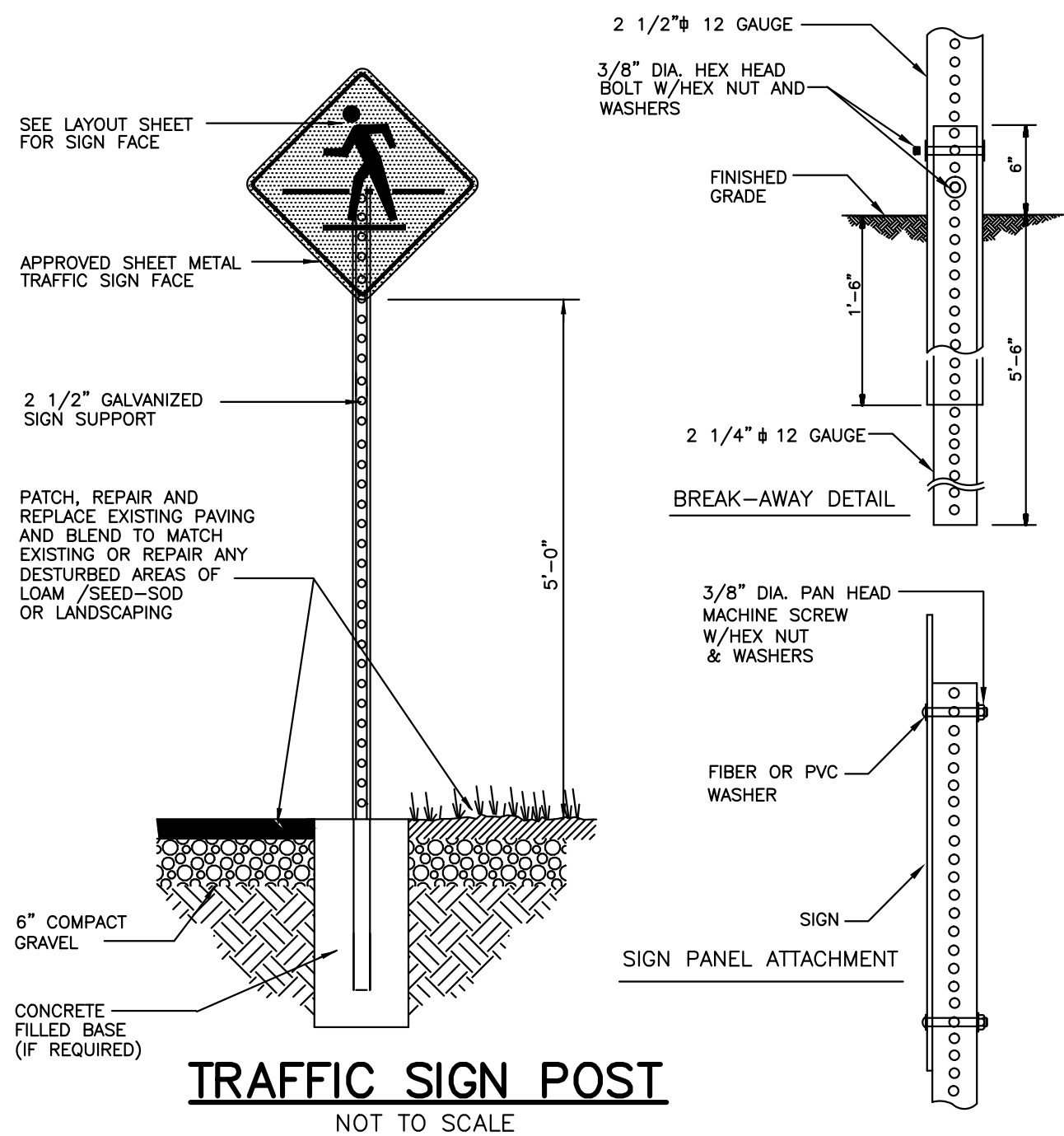


**36" – 2 RAIL – SPLIT CEDAR FENCE**

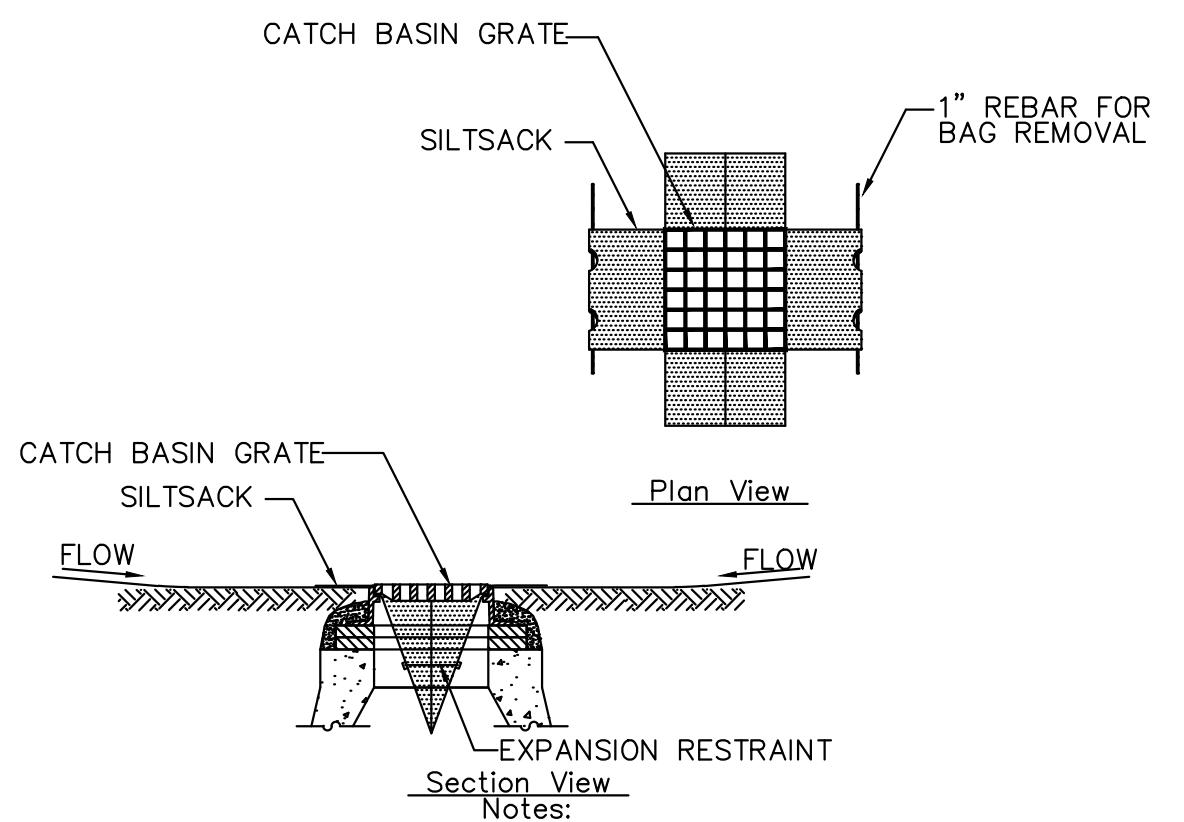


**BIO-RETENTION AREA #2 NOTES:**  
1) BIO-RETENTION AREA IS NOT DESIGNED FOR EXFILTRATION AND SHALL BE LINED WITH TYPE D IMPERVIOUS MATERIAL  
2) PLANTINGS PER DETAIL ON SHEET 11 OF 15.

**BIORETENTION AREA #2**  
**SECTION A-A**  
NOT TO SCALE

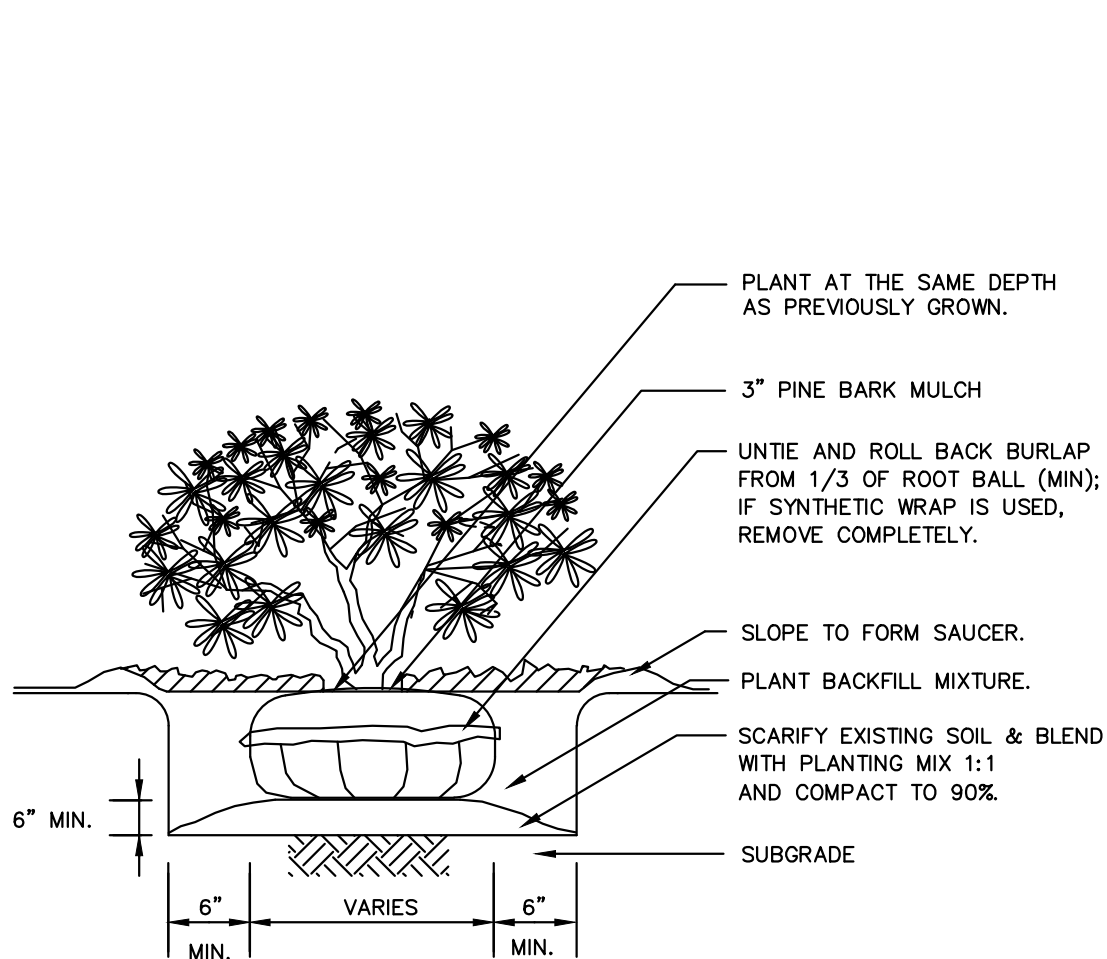


**TRAFFIC SIGN POST**  
NOT TO SCALE

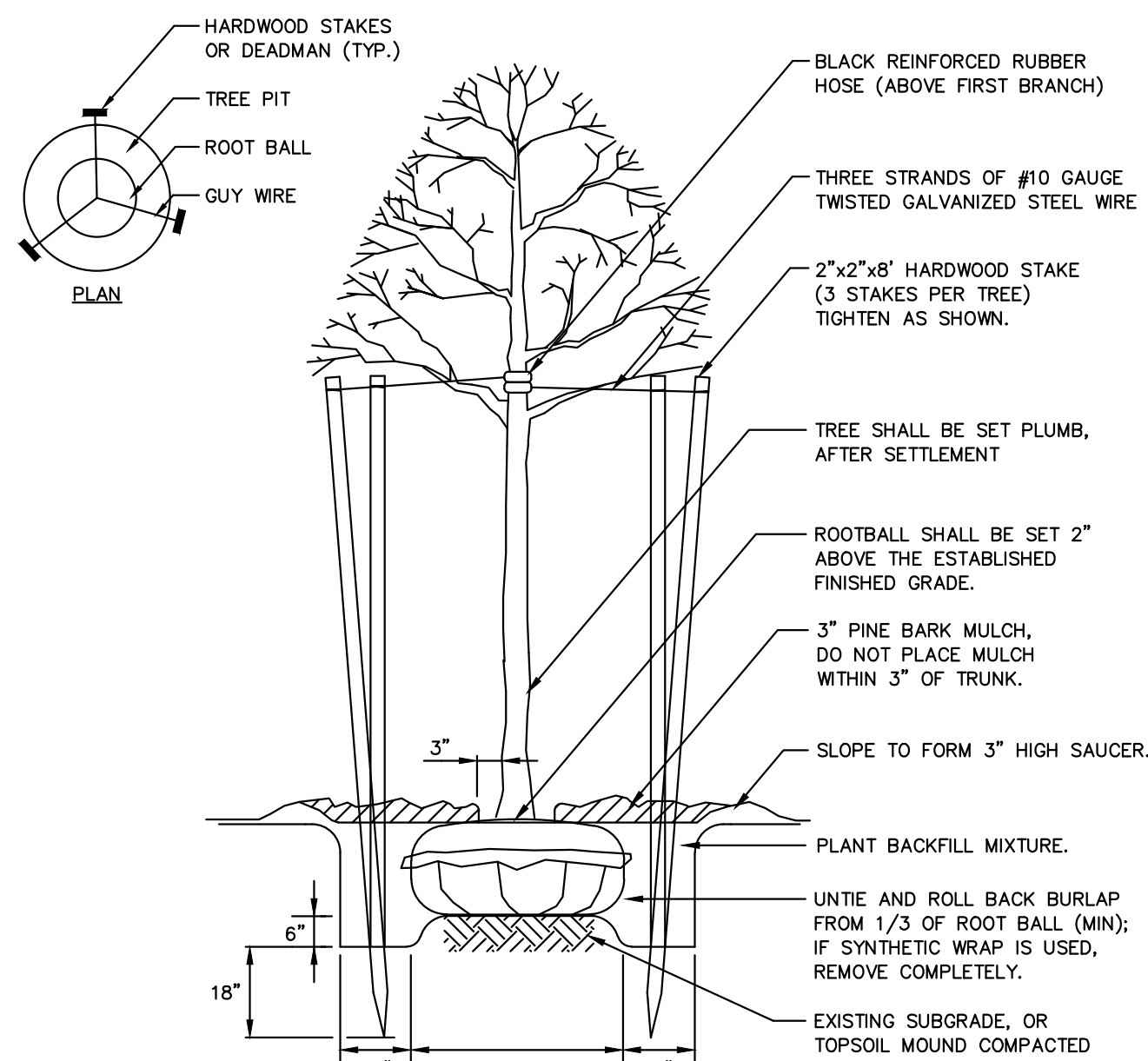


1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED
3. SILTSACK SHALL BE USED AFTER BINDER COURSE IS INSTALLED

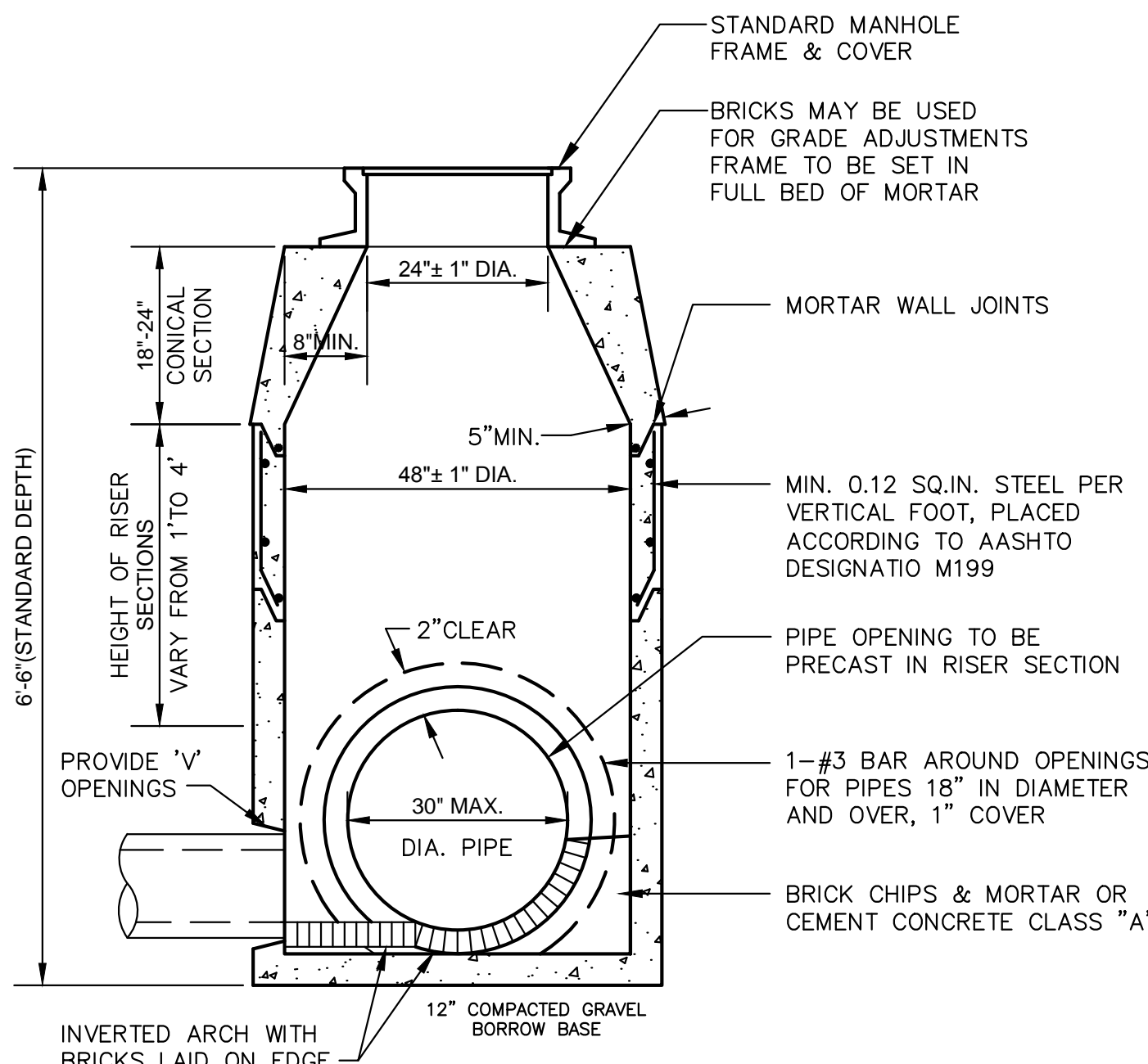
**SILTSACK SEDIMENT TRAP**  
**(AFTER BINDER COURSE INSTALLATION)**



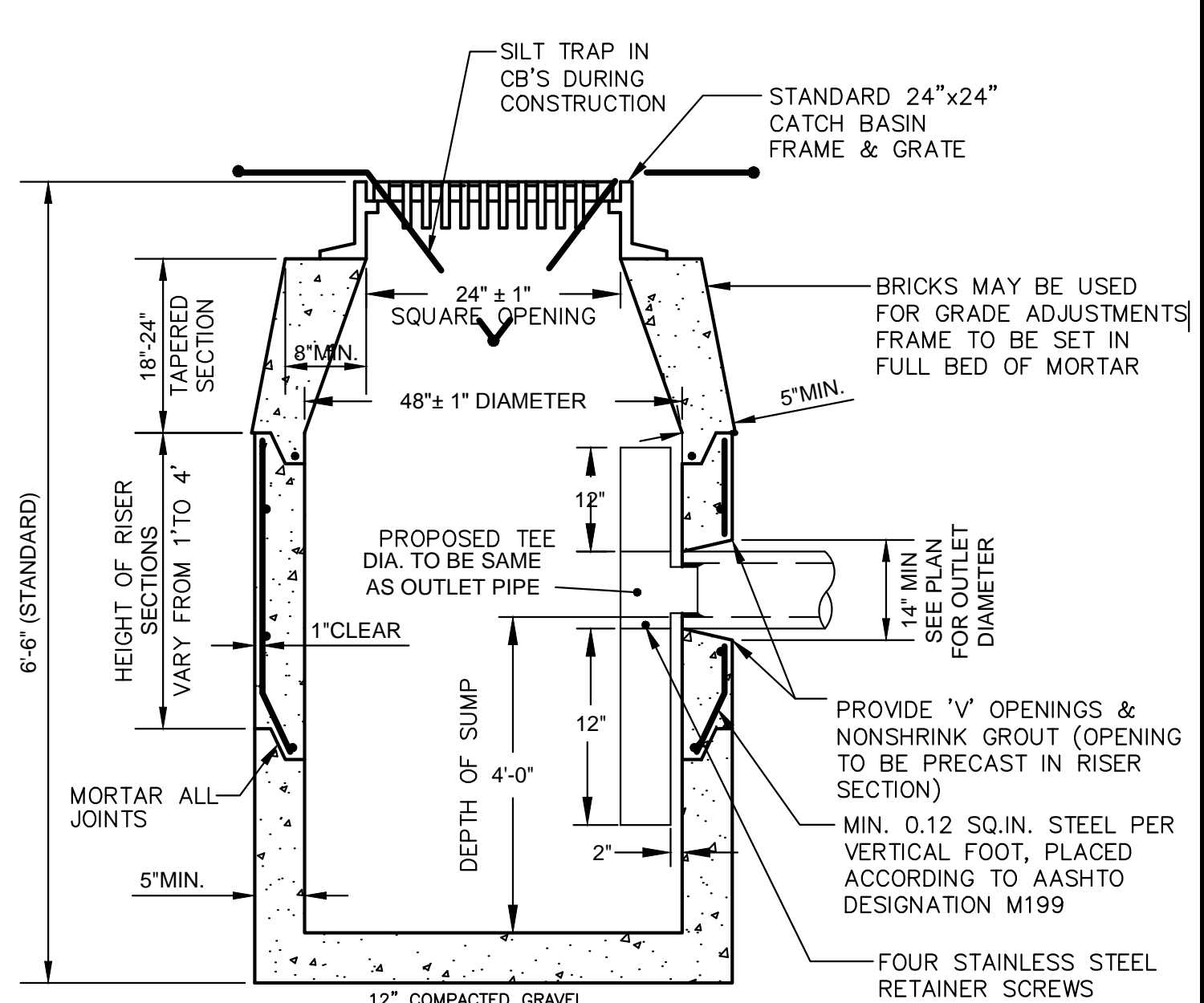
**SHRUB PLANTING**  
NOT TO SCALE



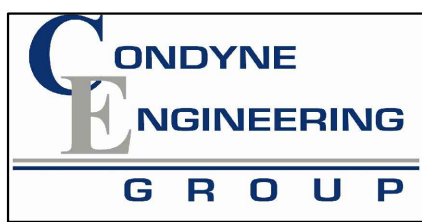
**TREE PLANTING**  
**(FOR TREES UNDER 4\" CALIPER)**  
NOT TO SCALE



**PRECAST CONCRETE MANHOLE**



**PRECAST CONCRETE CATCH BASIN**  
NOT TO SCALE



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