



TOWN OF BOLTON

PLANNING BOARD

Town Hall, 663 Main Street, Bolton, MA 01740
Phone: 978-779-3308 Fax: 978-779-5461

Request to Withdraw Applications for Special Permit without Prejudice

Pursuant to MGL c. 40a s. 16, after publication of the notice of public hearing, withdrawal without prejudice may be allowed only with the approval of the Planning Board.

Petitioner: Gary Shimmel
Whitehorse Builders
456 Newtown Road
Littleton, MA 01460

Premises: 105 Vaughn Hill Road, Bolton, MA 01740
Bolton Assessor's Map 7.B Parcel 36

Owner: Ruth E. Danon
One East Main Street #204
Beacon, NY 12808

Deed Reference: Worcester District Registry of Deeds, Book 53670 Page 328

Date Petition filed with Town Clerk of Bolton, MA: October 1, 2017

Type of Applications: Common Driveway Special Permit & Backland Lot Special Permit

Applicable Bolton Zoning Bylaws: Section 250-17.B & Section 250-13.E

Hearing Dates: November 8, 2017, December 13, 2017, January 10, 2018,
January 24, 2018, February 14, 2018, & February 28, 2018

Members Present: Erik Neyland, Danielle Spicer, Michael Gorr and Peter Driscoll

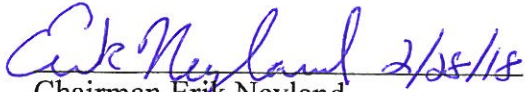
Reason for request to withdraw:

The Applicant determined that it would be economically infeasible to move forward with the project.

Date of request to withdraw Special Permit Applications without Prejudice: February 28, 2018

Decision: The Planning Board voted 4/0/0 on February 28, 2018 to grant the request to withdraw the Special Permit Applications without prejudice.

RECORD OF VOTE


Chairman Erik Neyland

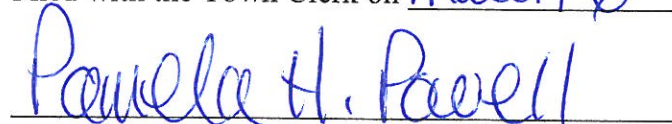

Danielle Spicer


Michael Gorr


Peter Driscoll

FILED WITH THE TOWN CLERK

Filed with the Town Clerk on March 6, 2018.


Pamela Powell, Town Clerk

Copy of Withdrawal mailed to:
Abutters
Surrounding Towns
Bolton Boards and Committees
Applicant