

LOCUS & ZONING MAP
(NOT TO SCALE)

APPLICATION FOR COMPREHENSIVE PERMIT ALTA NASHOBA VALLEY 580 MAIN STREET BOLTON, MA

PROJECT TEAM

APPLICANT
LIMITED DIVIDEND AFFILIATE OF WP
EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

SITE ENGINEER / SURVEYOR
ALLEN & MAJOR ASSOCIATES, INC.
10 MAIN STREET
LAKEVILLE, MA 02347-1674
(508)-923-1010

ARCHITECT
MARKET SQUARE ARCHITECTS
104 CONGRESS STREET, SUITE 203
PORTSMOUTH, NH 03801

LANDSCAPE ARCHITECT
GRADY CONSULTING, LLC
71 EVERGREEN STREET, SUITE 1
KINGSTON, MA 02364

WETLAND CONSULTANT
GODDARD CONSULTING LLC
291 MAIN STREET, SUITE 8
NORTHBOROUGH, MA 01532

GEOTECHNICAL ENGINEER
HALEY & ALDRICH
465 MEDFORD ST, SUITE 2200
BOSTON, MA 02129

TRAFFIC ENGINEER
TEC, INC.
146 DASCOMB RD
ANDOVER, MA 01810

WATER/WASTEWATER ENGINEER
ON-SITE ENGINEERING, INC.
279 EAST CENTRAL STREET, PMB 241
FRANKLIN, MA 02038



LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED
EXISTING CONDITIONS	V-101 - V-104	05-03-2021
NOTES & ABBREVIATIONS	C-001 - C-002	04-12-2022
CONCEPTUAL PROPERTY LINE MODIFICATION	C-003	09-10-2021
EROSION CONTROL PLAN	C-100	04-12-2022
OVERALL LAYOUT AND MATERIALS PLAN	C-101	04-12-2022
LAYOUT AND MATERIALS PLAN	C-102 - C-104	04-12-2022
OVERALL GRADING AND DRAINAGE PLAN	C-105	04-12-2022
GRADING AND DRAINAGE PLAN	C-106 - C-108	04-12-2022
OVERALL UTILITIES PLAN	C-109	04-12-2022
UTILITIES PLAN	C-110 - C-112	04-12-2022
DETAILS	C-501 - C-507	04-12-2022
VEHICLE MOVEMENT PLAN	C-601 - C-602	04-12-2022
LANDSCAPE PLAN (BY OTHERS)	I	09-10-2021
ARCH PLANS - BUILDING 1 (BY OTHERS)	B1.A1.01 - B1.A2.00	04-12-2022
ARCH PLANS - BUILDING 2 (BY OTHERS)	B2.A1.01 - B2.A2.00	04-12-2022
ARCH PLANS - BUILDING 3 (BY OTHERS)	B3.A1.01 - B3.A2.00	04-12-2022
ARCH PLANS - BUILDING 4 (BY OTHERS)	B4.A1.01 - B4.A2.00	04-12-2022
ARCH PLANS - CLUBHOUSE (BY OTHERS)	CH.A1.01 - CH.A2.00	04-12-2022
ARCH PLANS - GARAGES (BY OTHERS)	GA.A1.01 - GC.A2.01	04-12-2022
ARCH PLANS - MAIL AND PARCEL (BY OTHERS)	MP.A1.01 - MP.A2.01	04-12-2022

UNIT MATRIX

ALTA NASHOBA VALLEY - UNIT MATRIX														
BUILDING #4														
UNIT TYPE	AVG UNIT SIZE	FLOOR 1	FLOOR 2	FLOOR 3	TOTAL UNITS	NSF	UNIT TYPE	MARKET - UNITS	MARKET - %	AFFORDABLE - UNITS	AFFORDABLE - %	TOTAL UNITS	ADA - UNITS	ADA - %
1 Bed/1 BA	811	4	4	16	24	12,720	1 Bed/1 BA	66	29%	22	33%	88	4	5%
2 Bed/1 or 2 BA	1,069	6	10	10	26	27,784	2 Bed/1 or 2 BA	87	38%	30	34%	117	6	5%
3 Bed/2 BA	1,351	2	2	2	6	8,106	3 Bed/2 BA	18	8%	6	33%	24	2	8%
TOTAL/AVERAGE	1,053	12	16	16	44	48,610	TOTAL	171	75%	58	29%	229	12	5%
BUILDING #3														
UNIT TYPE	AVG UNIT SIZE	FLOOR 1	FLOOR 2	FLOOR 3	TOTAL UNITS	NSF	USE	GROSS SF	NET SF					
1 Bed/1 BA	811	4	2	10	16	13,008	RESIDENTIAL	260,355	231,854					
2 Bed/1 or 2 BA	1,041	4	8	6	20	20,824	CLUBHOUSE	5,451	5,451					
3 Bed/2 BA	1,351	2	2	2	6	8,106	MAIL/PACKAGE	885	885					
TOTAL/AVERAGE	1,009	10	12	18	40	42,738	GARAGES	8,898	8,898					
							TOTAL	275,589	247,138					
BUILDING #2														
UNIT TYPE	AVG UNIT SIZE	FLOOR 1	FLOOR 2	FLOOR 3	TOTAL UNITS	NSF	PARKING TOTALS							
1 Bed/1 BA	814	5	5	5	15	12,210	At Grade Spaces	354						
2 Bed/1 or 2 BA	1,111	12	13	13	38	42,231	Garage Spaces	30						
3 Bed/2 BA	1,409	2	2	2	6	8,454	Total Spaces	382						
TOTAL/AVERAGE	1,024	23	24	24	71	72,895	Ratio per unit	1.47						
BUILDING #1														
UNIT TYPE	AVG UNIT SIZE	FLOOR 1	FLOOR 2	FLOOR 3	TOTAL UNITS	NSF								
1 Bed/1 BA	825	11	12	12	35	28,875								
2 Bed/1 or 2 BA	1,104	11	13	13	37	40,833								
3 Bed/2 BA	1,375	2	2	2	6	8,322								
TOTAL/AVERAGE	995	24	27	27	78	78,030								
TOTAL - PROJECT														
UNIT TYPE	AVG UNIT SIZE	FLOOR 1	FLOOR 2	FLOOR 3	TOTAL UNITS	NSF								
1 Bed/1 BA	814	34	27	27	88	71,664								
2 Bed/1 or 2 BA	1,088	33	42	42	117	127,262								
3 Bed/2 BA	1,375	6	6	6	18	12,486								
TOTAL/AVERAGE	1,013	73	77	77	228	211,412								

APPLICATION FOR COMPREHENSIVE PERMIT

REVISION 1 - APRIL 12, 2022

M:\PROJECTS\1670-15\CIVIL\DRAWINGS\CURRENT\C-1670-15 - COVER.DWG

LOCUS REFERENCES

-TOWN OF BOLTON ASSESSORS MAP 4C, LOT 24
-DEED BOOK 49223, PAGE 19
-PLAN BOOK 482, PLAN 76
-OWNER OF RECORD: BOLTON OFFICE PARK LLC

PLAN REFERENCES

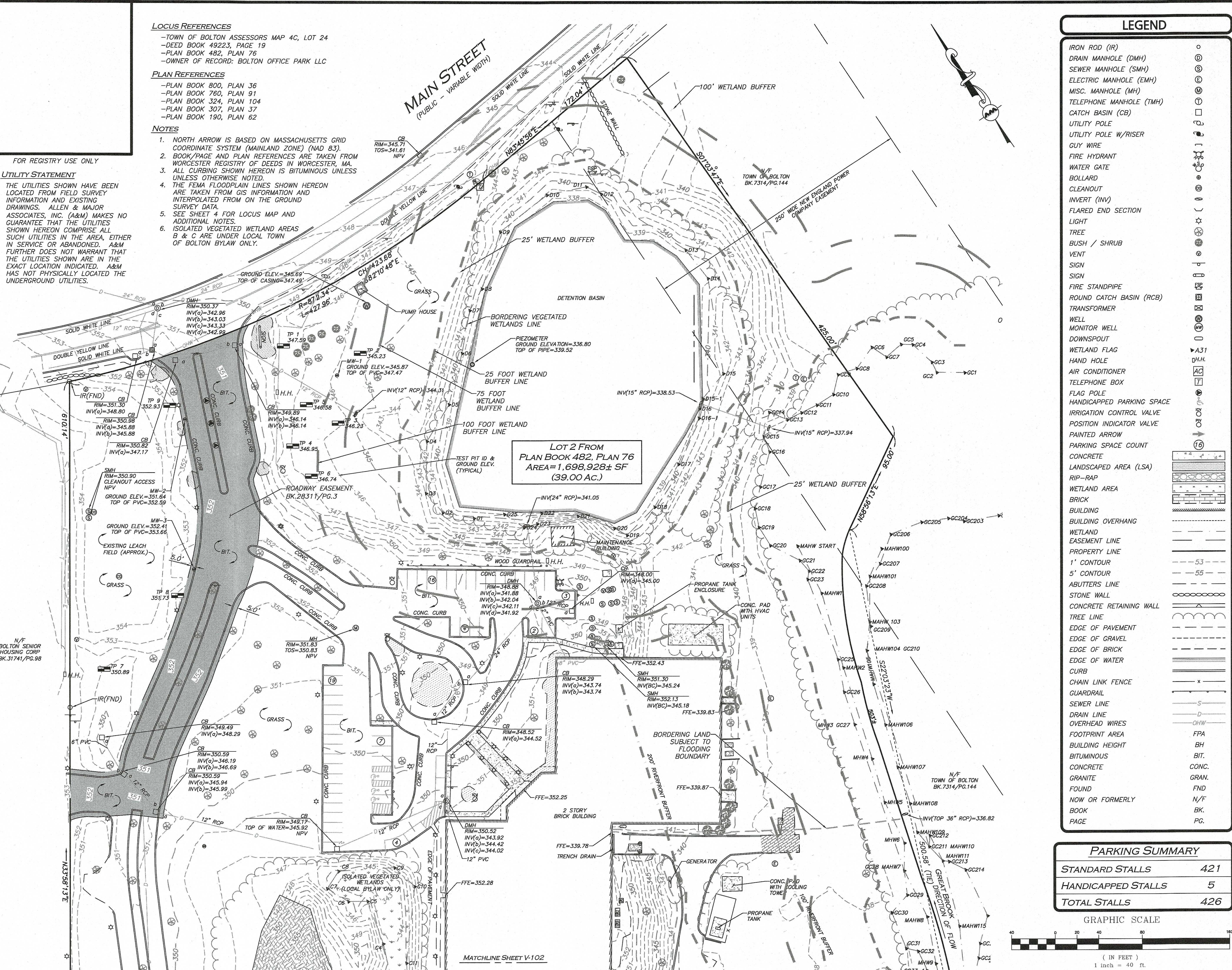
-PLAN BOOK 800, PLAN 36
-PLAN BOOK 760, PLAN 91
-PLAN BOOK 324, PLAN 104
-PLAN BOOK 307, PLAN 37
-PLAN BOOK 190, PLAN 62

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER REGISTRY OF DEEDS IN WORCESTER, MA.
3. ALL CURBING SHOWN HEREON IS BITUMINOUS UNLESS OTHERWISE NOTED.
4. THE FEMA FLOODPLAIN LINES SHOWN HEREON ARE TAKEN FROM GIS INFORMATION AND INTERPOLATED FROM ON THE GROUND SURVEY DATA.
5. SEE SHEET 4 FOR LOCUS MAP AND ADDITIONAL NOTES.
6. ISOLATED VEGETATED WETLAND AREAS B & C ARE UNDER LOCAL TOWN OF BOLTON BYLAW ONLY.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



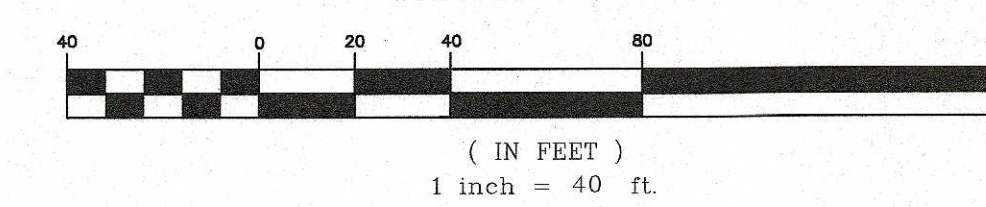
LEGEND

IRON ROD (IR)	○
DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
ELECTRIC MANHOLE (EMH)	⊙
MISC. MANHOLE (MH)	⊙
TELEPHONE MANHOLE (TMH)	⊙
CATCH BASIN (CB)	⊙
UTILITY POLE	⊙
UTILITY POLE W/ RISER	⊙
GUY WIRE	—
FIRE HYDRANT	⊙
WATER GATE	⊙
BOLLARD	⊙
CLEANOUT	⊙
INVERT (INV)	—
FLARED END SECTION	—
LIGHT	⊙
TREE	⊙
BUSH / SHRUB	⊙
VENT	⊙
SIGN	⊙
SIGN	⊙
FIRE STANDPIPE	⊙
ROUND CATCH BASIN (RCB)	⊙
TRANSFORMER	⊙
WELL	⊙
MONITOR WELL	⊙
DOWNSPOUT	⊙
WETLAND FLAG	⊙
HAND HOLE	⊙
AIR CONDITIONER	⊙
TELEPHONE BOX	⊙
FLAG POLE	⊙
HANDICAPPED PARKING SPACE	⊙
IRRIGATION CONTROL VALVE	⊙
POSITION INDICATOR VALVE	⊙
PAINTED ARROW	⊙
PARKING SPACE COUNT	⊙
CONCRETE	⊙
LANDSCAPED AREA (LSA)	⊙
RIP-RAP	⊙
WETLAND AREA	⊙
BRICK	⊙
BUILDING	⊙
BUILDING OVERHANG	⊙
WETLAND EASEMENT LINE	⊙
PROPERTY LINE	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
ABUTTERS LINE	⊙
STONE WALL	⊙
CONCRETE RETAINING WALL	⊙
TREE LINE	⊙
EDGE OF PAVEMENT	⊙
EDGE OF GRAVEL	⊙
EDGE OF BRICK	⊙
EDGE OF WATER	⊙
CURB	⊙
CHAIN LINK FENCE	⊙
GUARDRAIL	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
OVERHEAD WIRES	⊙
FOOTPRINT AREA	⊙
BUILDING HEIGHT	⊙
BITUMINOUS	⊙
CONCRETE	⊙
GRANITE	⊙
FOUND	⊙
NOW OR FORMERLY	⊙
BOOK	⊙
PAGE	⊙

PARKING SUMMARY

STANDARD STALLS	421
HANDICAPPED STALLS	5
TOTAL STALLS	426

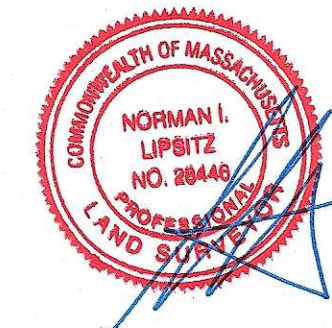
GRAPHIC SCALE



WE HEREBY CERTIFY THAT:
THIS PLAN IS THE RESULT OF AN ACTUAL
ON THE GROUND SURVEY PERFORMED ON OR
BETWEEN JANUARY 11, 2021 AND SEPTEMBER
3, 2021.
THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS DATED JANUARY 1,
1976 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF
RECORD, THE PROPERTY LINES SHOWN ON
THIS PLAN ARE THE LINES DIVIDING EXISTING
OWNERSHIP, AND THE LINES OF THE STREETS
OR WAYS SHOWN ARE THOSE OF PUBLIC OR
PRIVATE STREETS AND WAYS ALREADY
ESTABLISHED, AND THAT NO NEW LINES FOR
THE DIVISION OF EXISTING OWNERSHIP OR
FOR NEW WAYS ARE SHOWN.
THE ABOVE CERTIFICATION IS INTENDED TO
MEET REGISTRY OF DEED REQUIREMENTS FOR
THE RECORDING OF PLANS AND IS NOT A
CERTIFICATION TO THE TITLE OR OWNERSHIP
OF THE PROPERTY SHOWN. OWNERS OF
ADJOINING PROPERTIES ARE SHOWN
ACCORDING TO CURRENT TOWN OF BOLTON
ASSESSORS INFORMATION.
THE ABOVE IS CERTIFIED TO THE BEST OF
MY PROFESSIONAL KNOWLEDGE, INFORMATION
AND BELIEF TO THE ABOVE NAMED PARTIES
AND NO OTHERS.

ALLEN & MAJOR ASSOCIATES, INC.

April 13, 2022
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION
3.	04/13/2022	VARIOUS REVISIONS
2.	09/10/2021	VARIOUS REVISIONS
1.	09/03/2021	TEST PITS AND MONITORING WELLS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
580 MAIN STREET
BOLTON, MA

PROJECT NO.	1670-15	DATE:	05/03/2021
SCALE:	1" = 40'	DWG. NAME:	S-1670-15-EC
DRAFTED BY:	KAC	CHECKED BY:	NIL

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY
WOBURN MA 01801-8501
TEL: (781) 935-6889
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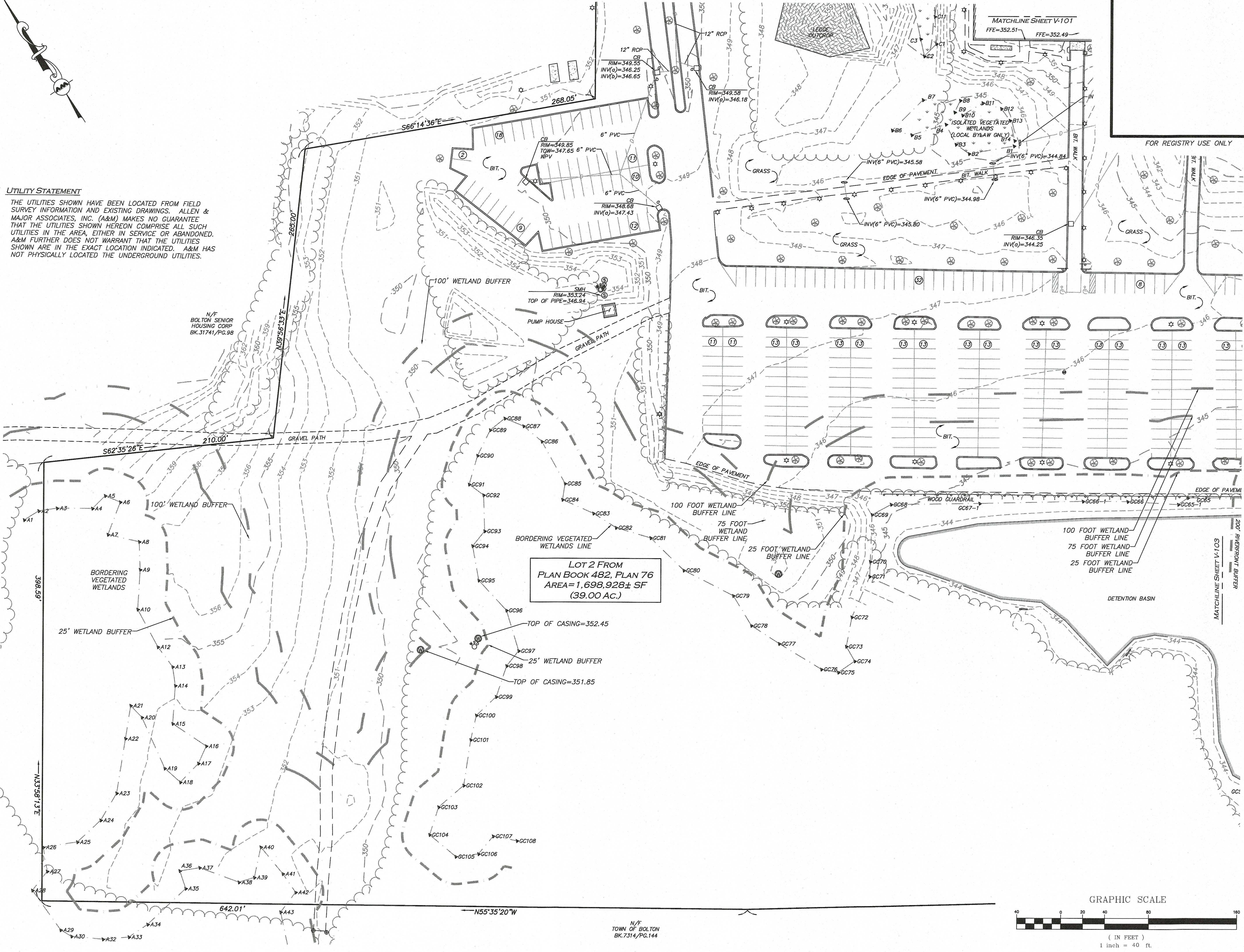
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT.
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INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE
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UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES,
INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S
AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR
PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND
SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF
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DRAWING TITLE: EXISTING CONDITIONS
SHEET NO.: V-101

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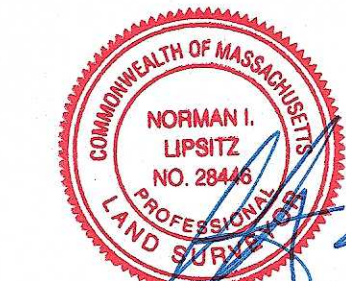
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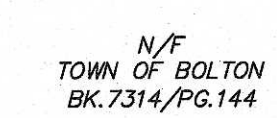
PROJECT:
**580 MAIN STREET
BOLTON, MA**

PROJECT NO. 1670-15 DATE: 05/03/2021
SCALE: 1" = 40' DWG. NAME: S-1670-15-EC
DRAFTED BY: KAC CHECKED BY: NIL

PREPARED BY:
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DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-102



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ALLEN & MAJOR ASSOCIATES, INC.

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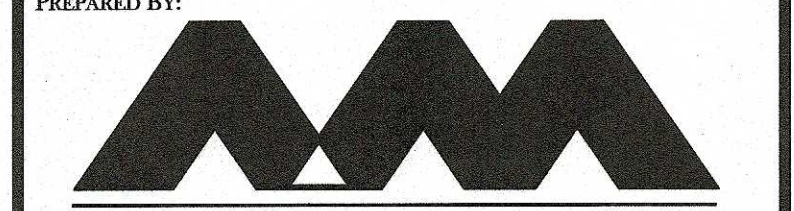
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PREPARED BY: _____



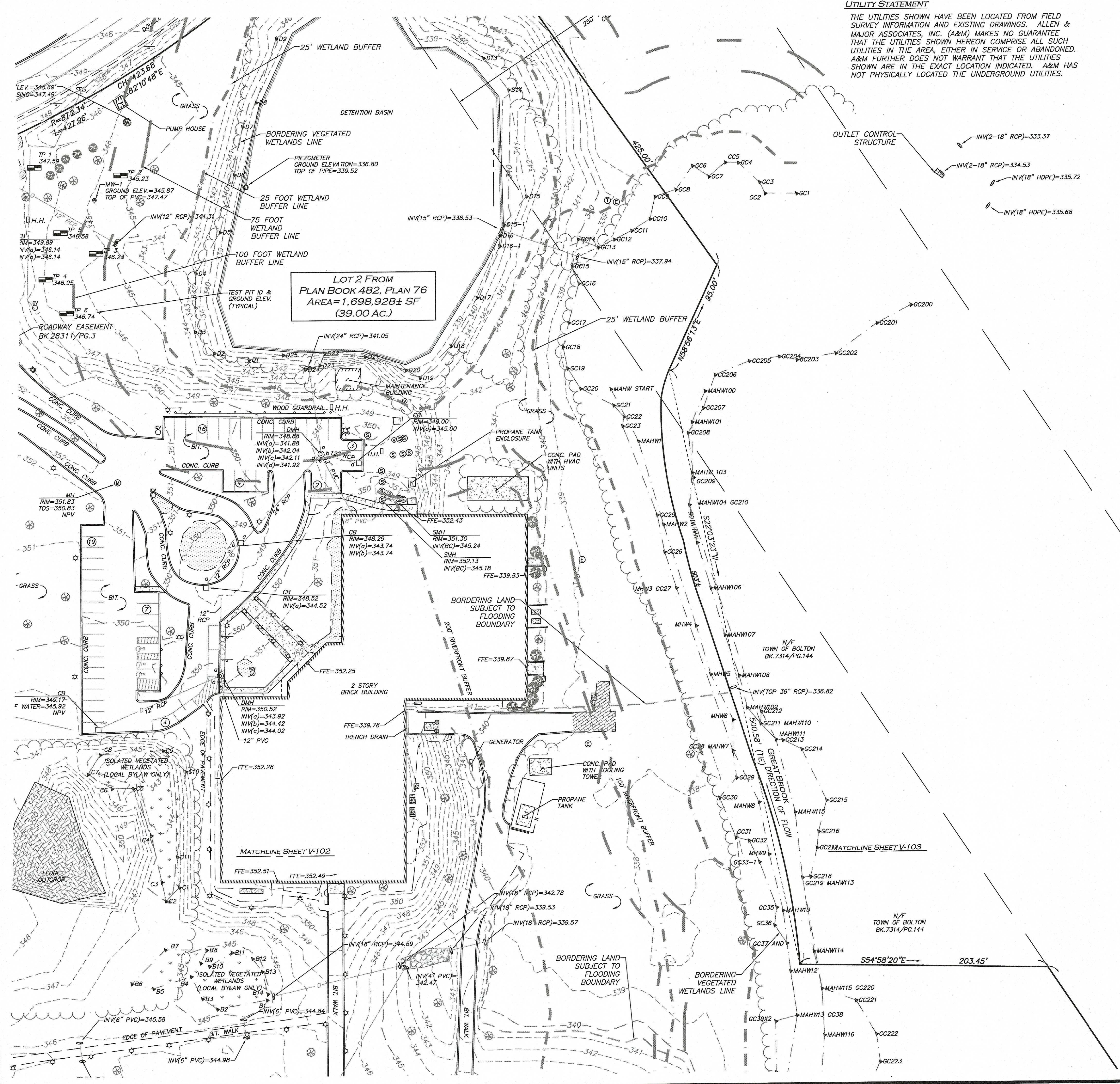
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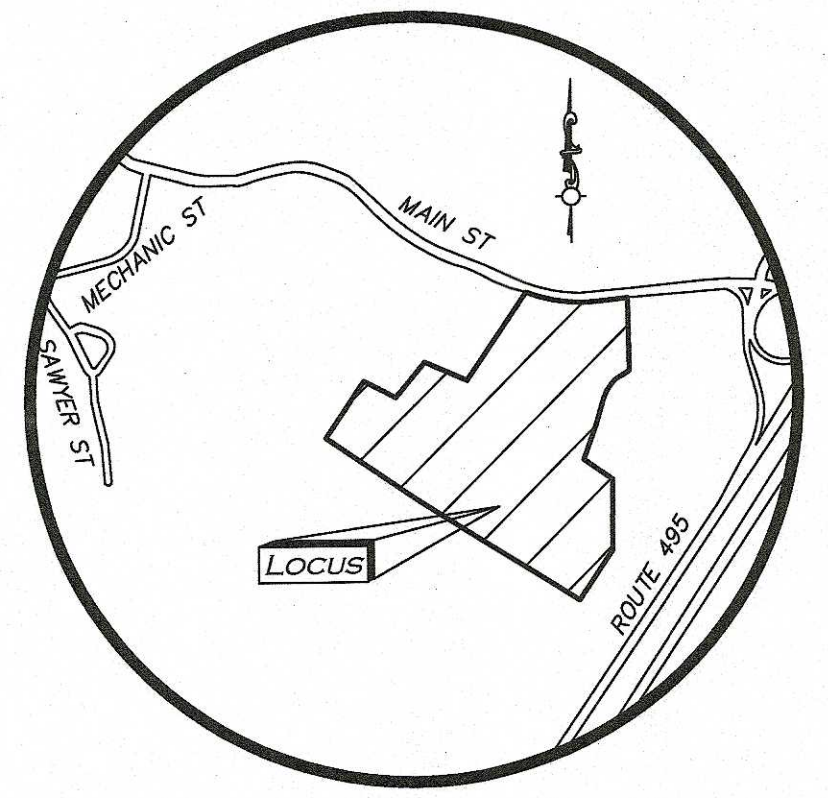
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DRAWING TITLE:	SHEET No.
EXISTING CONDITIONS	V-103

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UTILITY STATEMENT
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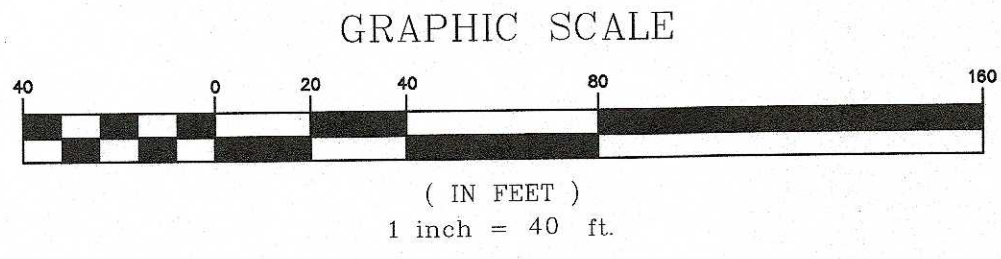


LOCUS MAP
(NOT TO SCALE)

- LOCUS REFERENCES**
- TOWN OF BOLTON ASSESSORS MAP 4C, LOT 24
 - DEED BOOK 49223, PAGE 19
 - PLAN BOOK 482, PLAN 76
 - OWNER OF RECORD: BOLTON OFFICE PARK LLC

- PLAN REFERENCES**
- PLAN BOOK 800, PLAN 36
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 - PLAN BOOK 324, PLAN 104
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- NOTES**
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER REGISTRY OF DEEDS IN WORCESTER, MA.
 - ALL CURBING SHOWN HEREON IS BITUMINOUS UNLESS OTHERWISE NOTED.
 - THE FEMA FLOODPLAIN LINES SHOWN HEREON ARE TAKEN FROM GIS INFORMATION AND INTERPOLATED FROM ON THE GROUND SURVEY DATA.
 - VERTICAL DATUM IS NAVD 88.
 - CONTOUR INTERVAL IS ONE FOOT (1').
 - WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC.
 - ISOLATED VEGETATED WETLAND AREAS B & C ARE UNDER LOCAL TOWN OF BOLTON BYLAW ONLY.



WE HEREBY CERTIFY THAT:
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ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
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THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF TO THE ABOVE NAMED PARTIES AND NO OTHERS.

ALLEN & MAJOR ASSOCIATES, INC.

April 13, 2022
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REVISIONS

REV	DATE	DESCRIPTION
3.	04/13/2022	VARIOUS REVISIONS
2.	09/10/2021	VARIOUS REVISIONS
1.	09/03/2021	TEST PITS AND MONITORING WELLS

APPLICANT/OWNER:
**LIMITED DIVIDEND AFFILIATE OF
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LEXINGTON, MA 02421**

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BOLTON, MA**

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DRAFTED BY:	KAC	CHECKED BY:	NIL

PREPARED BY:

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DRAWING TITLE:	SHEET NO.
EXISTING CONDITIONS	V-104

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NOTES

GENERAL NOTES:

1. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC, 100 COMMERCE WAY, WOBURN, MASSACHUSETTS.
2. ZONING DISTRICT IS LIMITED BUSINESS DISTRICT.
3. THE PROPERTY LOCATED AT 580 MAIN STREET, BOLTON, MASSACHUSETTS IS SUBJECT TO AN APPROVAL NOT REQUIRED SUBDIVISION PROCESS. SITE WORK SHOWN ON THE SUBSEQUENT DRAWINGS IS SUBJECT TO ANR LOT 2 ONLY AS PART OF A COMPREHENSIVE PERMIT APPLICATION TO THE ZONING BOARD OF APPEALS. ANY WORK SHOWN ON ANR LOT 1 IS FOR COORDINATION PURPOSES ONLY AND SHALL BE DESIGNED AND PERMITTED BY OTHERS AS REQUIRED BY THE TOWN OF BOLTON REGULATIONS.
4. ANR LOT 2 SIZE: 32.43± ACRES
5. OVERALL LOT SIZE: 39.08± ACRES.
6. DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
7. DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
8. THIS PROJECT WILL BE SERVED BY PRIVATE WELL, PRIVATE ON-SITE SEWER, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
10. ALL PROPOSED MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MAAB REGULATIONS.
11. ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
12. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
13. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
14. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
15. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE CITY DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
16. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
18. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
19. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
20. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
21. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
22. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
23. DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
24. ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED OR AS SPECIFIED BY LANDSCAPE ARCHITECT.
25. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
26. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SAME.
27. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.

28. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARKS SHOWN ON THE EXISTING CONDITIONS SITE PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAKING.
29. CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THE EXISTING AND THE PROPOSED UTILITIES/DRAINAGE STRUCTURES.
30. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING AND ELECTRICAL PERMITS. PERMITS FROM THE PLANNING BOARD, CONSERVATION COMMISSION AND ZONING BOARD OF APPEALS.
31. DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DO NOT MEET THE "ORDINARY FILL" SPECIFICATIONS OR "LOAM" SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING, IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS, IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
32. ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE LOCAL ZONING CODE OR AS SPECIFIED BY PERMIT AS ISSUED.
33. SITE CONSTRUCTION, ACCESS, UTILITY, GRADING AND SLOPE EASEMENTS TO BE COORDINATED AND ESTABLISHED PRIOR TO CONSTRUCTION AND ARE NOT SHOWN.
34. ALL CURBING TO BE BITUMINOUS CONCRETE CURB, EXCEPT ALL CURBING ABUTTING A SIDEWALK SHALL BE MONOLITHIC CURBING. CURBING TO THE FIRST INTERSECTION SHALL BE PRE-CAST CONCRETE.

GRADING & DRAINAGE NOTES:

1. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
2. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
3. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
5. TEMPORARY TUBULAR BARRIER PROTECTION AND/OR SILT SACKS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
7. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEMS, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS PRIOR TO FINAL APPROVAL.
8. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
14. ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

UTILITY NOTES:

1. THE LATEST STANDARDS OF THE LOCAL MUNICIPALITY SHALL BE FOLLOWED WHEN INSTALLING ANY STORM DRAIN WORK. STORM DRAIN WORK WILL BE INSPECTED BY THE LOCAL GOVERNING AUTHORITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
3. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
4. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.

5. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - DRAIN – HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
6. BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE LOCAL MUNICIPALITY FOR THE APPROPRIATE PERMIT AND INSPECTION FEES.
7. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
8. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES. COMPACTION BELOW INFILTRATION FIELDS SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
9. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
10. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
11. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
12. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE.
13. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
15. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
16. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

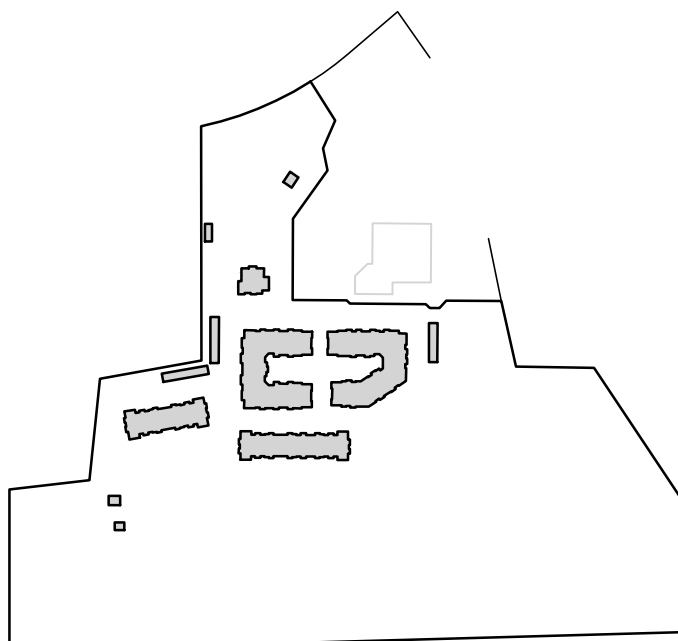
ABBREVIATIONS

ABAN ADJ	ABANDON ADJUST	L LB LP	LENGTH LEACHING BASIN LIGHT POLE
B BC BIT BCB BLDG BM BOS BOW BRK BV&B BVW	BORING BOTTOM OF CURB BITUMINOUS BITUMINOUS CONCRETE BERM BUILDING BENCH MARK BOTTOM OF SLOPE BOTTOM OF WALL BRICK BUTTERFLY VALVE & BOX BORDERING VEGETATED WETLAND	MAT MAX MH MIN MISC MTD MW	MATERIAL MAXIMUM MANHOLE MINIMUM MISCELLANEOUS MOUNTED MONITORING WELL
CATV CB CF CFS CI CL CLDI CM CMP CO CONC CONST CONT CRP CUL CY	CABLE TELEVISION CATCH BASIN CUBIC FEET CUBIC FEET PER SECOND CAST IRON (PIPE) CENTERLINE CEMENT LINED DUCTILE IRON (PIPE) CONSTRUCTION MANAGER CORRUGATED METAL PIPE CLEAN OUT CONCRETE CONSTRUCTION CONTRACTOR COORDINATE CORRUGATED POLYETHYLENE PIPE CULVERT CUBIC YARD	N NIC NO NTS	NORTH NOT IN CONTRACT NUMBER NOT TO SCALE
DB DBL DEM DET DI DIA DIM DMH DW DWG DYCL	DISTRIBUTION BOX DOUBLE DEMOLISH DETENTION DUCTILE IRON (PIPE) DIAMETER DIMENSION DRAIN MANHOLE DOMESTIC WATER (OR DRY WELL) DRAWING DOUBLE YELLOW CENTERLINE	OC OD OHW OVHD OW	ON CENTER OUTSIDE DIAMETER OVERHEAD WIRE OVERHEAD OBSERVATION WELL
EHH EL ELEC EMH EOP EOR EOW ETC EXIST EXT	ELECTRIC HANDHOLE ELEVATION ELECTRIC ELECTRIC MANHOLE EDGE OF PAVEMENT EDGE OF ROAD EDGE OF WETLANDS ELECTRIC, TELEPHONE, CABLE EXISTING EXTERIOR	PC PCC PI PKG PL PLMB POC POT PRC PROP, P PT PVC	POINT OF CURVATURE PRECAST CONCRETE CURB POINT OF INTERSECTION PARKING PROPERTY LINE PLUMBING POINT ON CURVATURE POINT ON TANGENT POINT OF REVERSE CURVATURE PROPOSED POINT (OR POINT OF TANGENT) POLYVINYL CHLORIDE (PIPE)
FA FCC FES FFE FLNP FPS FS FT	FIRE ALARM FLUSH CONCRETE CURB FLARED END SECTION FINISH FLOOR ELEVATION FIRE LANE NO PARKING FEET PER SECOND FIRE SERVICE FOOT/FEET	R&R R&S RCP RD RED RELOC REM RET ROW RR RWL RWY	REMOVE & RESET/REPLACE REMOVE & STACK REINFORCED CONCRETE PIPE ROAD (OR ROOF DRAIN) REDUCER RELOCATE REMOVE RETAIN, RETAINING OR RETENTION RIGHT OF WAY RAILROAD RAIN WATER LEADER ROADWAY
GC GEN GG GR GRAN GV GV&B GW	GENERAL CONTRACTOR GENERAL GAS GATE GUIDE RAIL GRANITE GATE VALVE GATE VALVE & BOX GROUND WATER	SD SF SGC SMH SP SPEC STA STD STRTL SWEL SW SWLL SYCL	SUBDRAIN SQUARE FEET SLOPED GRANITE CURB SEWER MANHOLE STANDPIPE SPECIFICATION STATION STORMCEPTOR STANDARD STRUCTURAL SOLID WHITE EDGE LINE SIDEWALK SOLID WHITE LANE LINE SOLID YELLOW CENTERLINE
HCR HOR HT HW HWY HYD	HANDICAP RAMP HORIZONTAL HEIGHT HEADWALL HIGHWAY HYDRANT	TB TC TD TEL TMH TOS TOW TP TS&V TYP	TEST BORING TOP OF CURB TRENCH DRAIN TELEPHONE TOP OF SLOPE TOP OF WALL TEST PIT TAPPING SLEEVE & VALVE TYPICAL
ID IN INCL INST INV, I.E.	INSIDE DIAMETER INCHES INCLUDE INSTALLED INVERT, INVERT ELEVATION	UD UL UP VCP VERT VGC WD WG WM WMH WSO	UNDERDRAIN UNDERWRITERS LABORATORY UTILITY POLE VITRIFIED CLAY PIPE VERTICAL VERTICAL GRANITE CURB WOOD WATER GATE WATER MAIN WATER MANHOLE WATER SHUTOFF

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ISSUED FOR
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	04-12-2022	PER REVIEW COMMENTS
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 DATE: 09-10-2021

SCALE: NONE DWG. NAME: C1670-15

DESIGNED BY: JPS CHECKED BY: PLC

PREPARED BY:



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DRAWING TITLE: ABBREVIATIONS & NOTES	SHEET No. C-001
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EROSION CONTROL NOTES

EROSION & SEDIMENTATION CONTROL NOTES:

- EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2017 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS MUNICIPALITY HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS, IN VEGETATED SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. TUBULAR BARRIERS SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL TUBULAR BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE SITE PREPARATION PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- ADJACENT ROADS SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA AS OFTEN AS NECESSARY (WHICH COULD BE ON A DAILY BASIS) TO REMOVE ANY SOIL OR SEDIMENTS AT NO ADDITIONAL COST TO THE OWNER. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. BOTH EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE SILT SACKS AND/OR TUBULAR BARRIERS AROUND EACH INLET AS NOTED ON THE PLANS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- AT A MINIMUM, ALL TUBULAR BARRIERS AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS OR PLANTINGS HAVE BECOME 85-90% ESTABLISHED. THE LOCAL CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE TUBULAR BARRIERS AND FILTER FABRIC. ONCE THE TUBULAR BARRIERS ARE REMOVED THE AREAS ARE TO BE LOAMED AND SEEDDED TO ACHIEVE FULL STABILIZATION.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE LOCAL MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE. ALL CONDITIONS & RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
- ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE LOCAL MUNICIPALITY.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):

- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDDED FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
- CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY TUBULAR BARRIER FILTERS AND STONE CHECK DAMS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- TUBULAR BARRIER DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS. NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH RAINFALL EVENT.
- ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL TUBULAR BARRIERS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA. THE NPDES PERMIT FOR STORM WATER DISCHARGE, & CONSTRUCTION GENERAL PERMIT NOI WILL BE REQUIRED TO BE SUBMITTED AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION BY THE CONTRACTOR.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI, WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE LOCAL MUNICIPALITY, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
- APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL, MA DEP, EPA CONSTRUCTION GENERAL PERMIT STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE LOCAL AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
- A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS. PRIOR TO ANY DEWATERING ACTIVITY, THE CONTRACTOR IS REQUIRED TO PROVIDE A PLAN DEPICTING THE DEWATERED AREA, METHOD OF DISCHARGE, PROTECTION FROM EROSION, LENGTH OF PROCESS, AND ALL NECESSARY DETAILS TO ENSURE NO ADVERSE CONDITION IS ENCOUNTERED. THIS PLAN SHALL BE PROVIDED TO THE TOWN OF BOLTON UPON REQUEST.
- INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
- ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, POLLUTANTS USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM WETLANDS, SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM, PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
- ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
- ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
- IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
- INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES, ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL, THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.

MAINTENANCE:

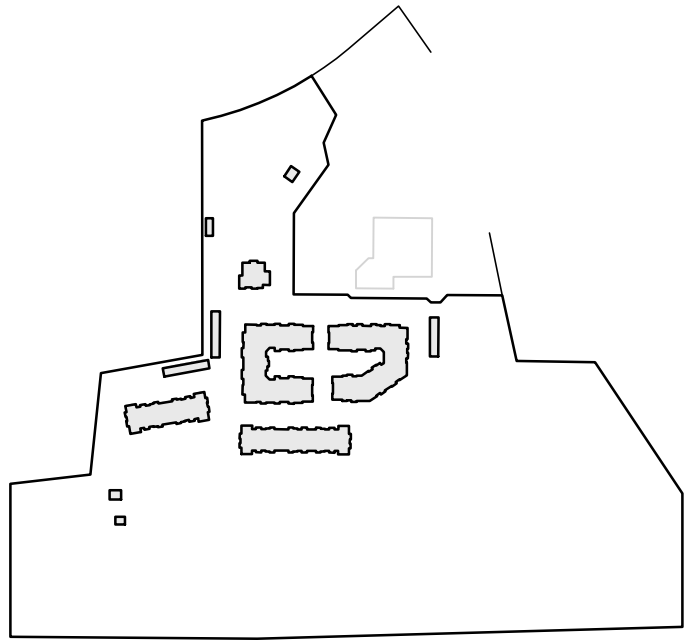
- ALL MEASURES STATED ON THE STORMWATER POLLUTION PREVENTION PLANS, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION BY CONTRACTOR UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 - ALL SEEDDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A HEALTHY STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDDED AS NEEDED.
 - ALL SEDIMENT CONTROLS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE TUBULAR SEDIMENT CONTROLS WHEN IT REACHES HALF THE HEIGHT OF THE CONTROL MEASURE OR AS REQUESTED BY THE OWNER OR ENGINEER.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

CONSTRUCTION GENERAL PERMIT NOTES AND NARRATIVE:

NARRATIVE: THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF THE SITE PREPARATION PLAN TOGETHER WITH AN EXISTING CONDITIONS PLANS, GRADING PLANS, ABBREVIATIONS AND NOTES SHEETS, AND DETAIL SHEETS.

THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:

- TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
- PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE RECEIVING WATERS.
- CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
- ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.



KEYSHEET

**ISSUED FOR
COMPREHENSIVE
PERMIT APPLICATION**
REV. 1- 04-12-2022



Philip L. Cordeiro
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00002012, cn=Philip L. Cordeiro
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
**APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA**

PROJECT NO.	1670-15	DATE:	09-10-2021
SCALE:	NONE	DWG. NAME:	C1670-15
DESIGNED BY:	JPS	CHECKED BY:	PLC

PREPARED BY:

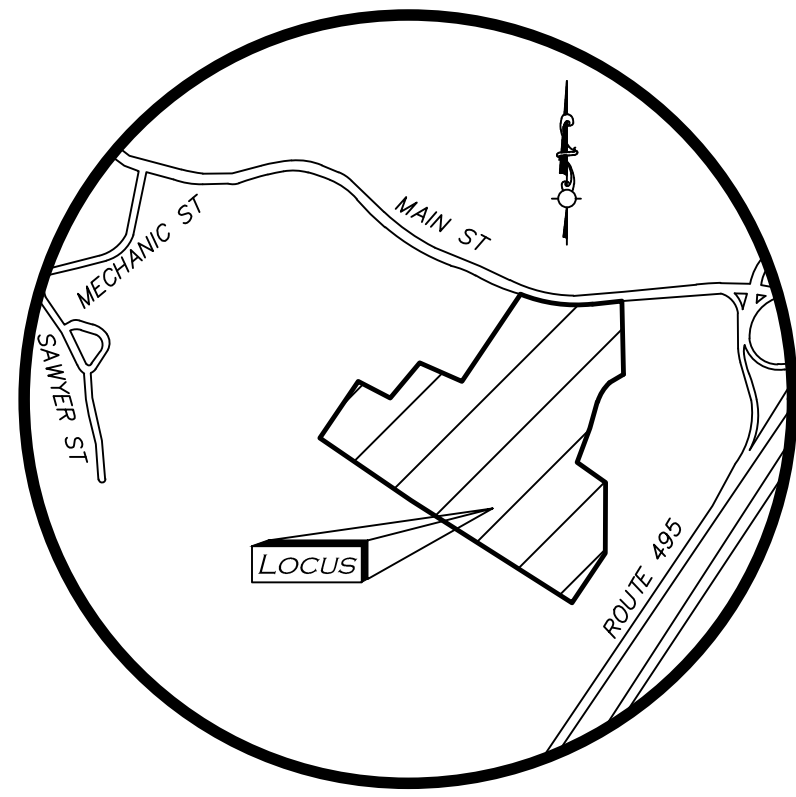
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DRAWING TITLE:	SHEET No.
ABBREVIATIONS & NOTES	C-002

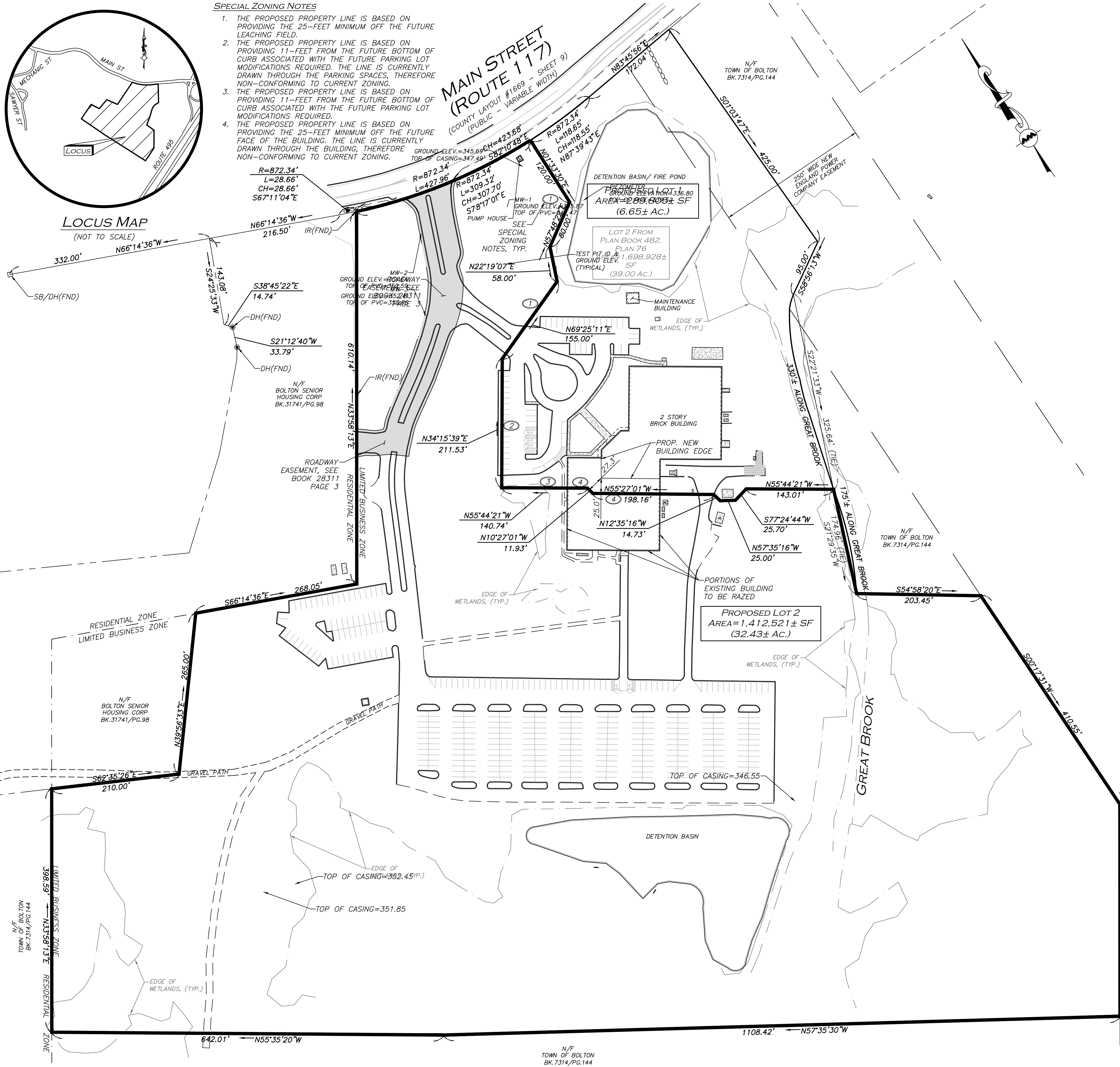


LOCUS MAP
(NOT TO SCALE)

SPECIAL ZONING NOTES

1. THE PROPOSED PROPERTY LINE IS BASED ON PROVIDING THE 25-FOOT MINIMUM OFF THE FUTURE LEACHING FIELD.
2. THE PROPOSED PROPERTY LINE IS BASED ON PROVIDING 11- FEET FROM THE FUTURE BOTTOM OF CURB ASSOCIATED WITH THE FUTURE PARKING LOT MODIFICATIONS REQUIRED. THE LINE IS CURRENTLY DRAWN THROUGH THE PARKING SPACES, THEREFORE NON-CONFORMING TO CURRENT ZONING.
3. THE PROPOSED PROPERTY LINE IS BASED ON PROVIDING 11- FEET FROM THE FUTURE BOTTOM OF CURB ASSOCIATED WITH THE FUTURE PARKING LOT MODIFICATIONS REQUIRED.
4. THE PROPOSED PROPERTY LINE IS BASED ON PROVIDING THE 25-FOOT MINIMUM OFF THE FUTURE FACE OF THE BUILDING. THE LINE IS CURRENTLY DRAWN THROUGH THE BUILDING, THEREFORE NON-CONFORMING TO CURRENT ZONING.

MAIN STREET
(ROUTE 117)
(COUNTY LAYOUT #1669 - SHEET 9)
(PUBLIC - VARIABLE WIDTH)



LOCUS REFERENCES

- TOWN OF BOLTON ASSESSORS MAP 4C, LOT 24
- DEED BOOK 49223, PAGE 19
- PLAN BOOK 482, PLAN 76
- OWNER OF RECORD: BOLTON OFFICE PARK LLC

PLAN REFERENCES

- PLAN BOOK 800, PLAN 36
- PLAN BOOK 760, PLAN 91
- PLAN BOOK 324, PLAN 104
- PLAN BOOK 307, PLAN 37
- PLAN BOOK 190, PLAN 62

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER REGISTRY OF DEEDS IN WORCESTER, MA.
3. THE FEMA FLOODPLAIN LINES SHOWN HEREON ARE TAKEN FROM GIS INFORMATION AND INTERPOLATED FROM ON THE GROUND SURVEY DATA.
4. PORTIONS OF THE SITE IS LOCATED WITH A FEMA FLOOD ZONE X AND A FLOOD ZONE AE AS SHOWN ON FIRM MAP 25027C0486F DATED JULY 16, 2014.
5. THE SUBJECT PROPERTY IS SUBJECT TO A SPECIAL PERMIT ISSUED BY THE BOARD OF SELECTMEN ON OCTOBER 25, 1986.
6. THE INTENT OF THIS PLAN IS TO DEPICT THE PROPOSED MODIFICATION TO THE PROPERTY AT 580 MAIN STREET THROUGH THE APPROVAL NOT REQUIRED SUBDIVISION PROCESS AS PERFORMED BY OTHERS. SITE WORK SHOWN ON THE SUBSEQUENT DRAWINGS IS SUBJECT TO ANR LOT 2 ONLY AS PART OF A COMPREHENSIVE PERMIT APPLICATION TO THE ZONING BOARD OF APPEALS. ANY WORK SHOWN ON ANR LOT 1 IS FOR COORDINATION PURPOSES ONLY AND SHALL BE DESIGNED AND PERMITTED BY OTHERS AS REQUIRED BY THE TOWN OF BOLTON REGULATIONS.

ZONING TABLE - LIMITED BUSINESS DISTRICT

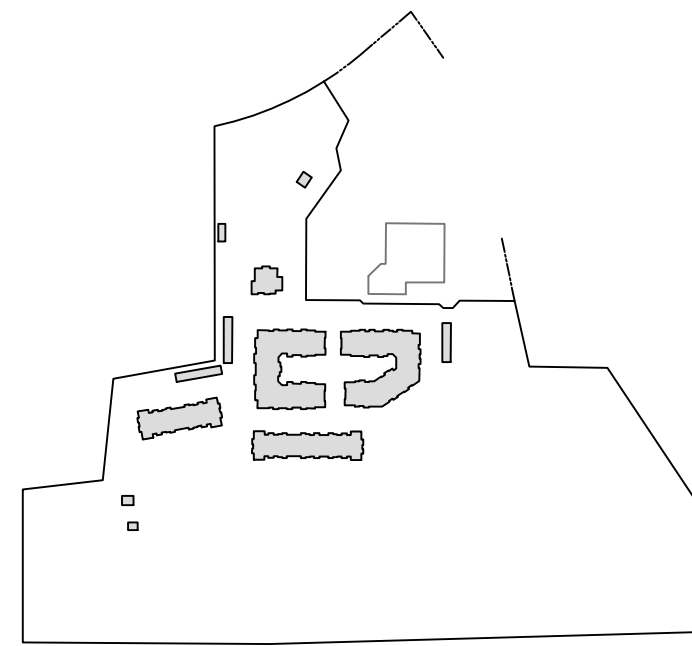
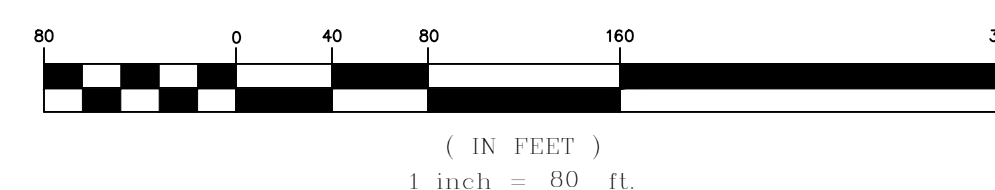
ITEM	REQUIRED
LOT AREA (MIN)	1.5 ACRES
LOT FRONTAGE (MIN)	200'
LOT WIDTH (MIN)	150' (1)
FRONT YARD SETBACK (MIN)	50'
SIDE YARD SETBACK (MIN)	25' (2)
REAR YARD SETBACK (MIN)	25' (2)
BUILDING COVERAGE (MAX)	20%
BUILDING HEIGHT (MAX)	32'
IMPERVIOUS COVERAGE (MAX)	50%

- (1) MINIMUM LOT WIDTH SHALL BE MEASURED AT A DISTANCE OF 100-FT FROM THE STREET.
- (2) SIDE & REAR YARD SETBACKS SHALL BE INCREASED TO 50 FEET IF ABUTTING A RESIDENTIAL USE.
- (3) THE PROPERTY IS ALSO LOCATED WITHIN THE WIRELESS COMMUNICATION OVERLAY DISTRICT (WCOD), MIXED USE VILLAGE OVERLAY DISTRICT (MVOID) AND THE FLOODPLAIN OVERLAY DISTRICT.

LEGEND

EXISTING BOUND	□
IRON ROD (IR)	○
DRILL HOLE (DH)	●
BUILDING	
PROPERTY LINE	---
ABUTTERS LINE	---
WETLAND AREA	----
WETLAND	----
STONE BOUND W/DRILL HOLE	SB/DH
EASEMENT LINE	---
STONE WALL	=====
EDGE OF WATER	=====
CENTERLINE	CL
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
SPECIAL ZONING NOTES	①

GRAPHIC SCALE



KEYSHEET

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO.	1670-15	DATE:	09-10-2021
SCALE:	1" = 80'	DWG. NAME:	C1670-15
DESIGNED BY:	KAC/PGM	CHECKED BY:	PLC

PREPARED BY:

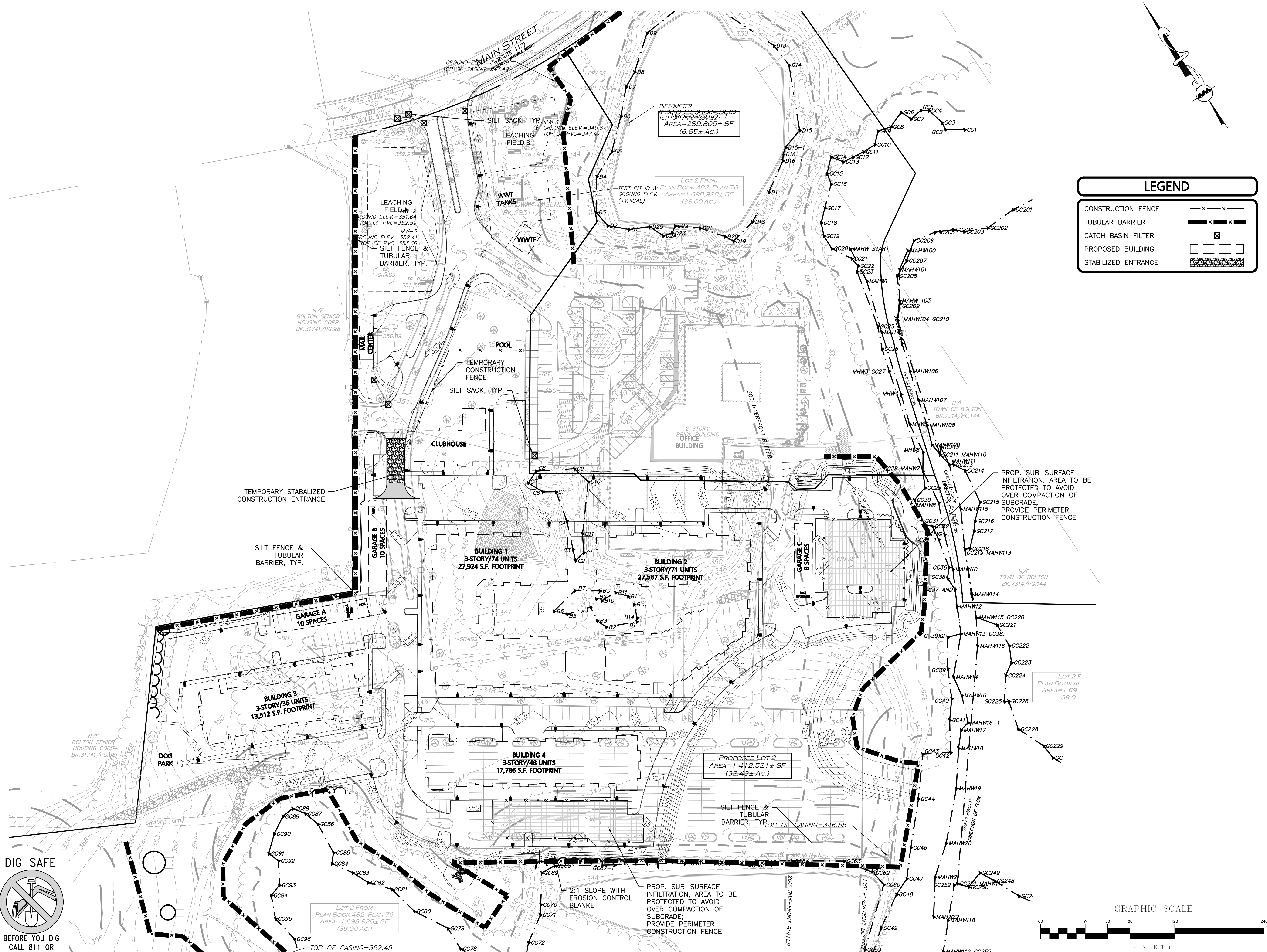
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DRAWING TITLE:	SHEET NO.
CONCEPTUAL PROPERTY LINE MODIFICATION PLAN	C-003

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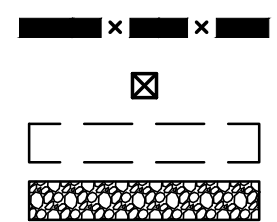


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LEGEND

CONSTRUCTION FENCE
TUBULAR BARRIER
CATCH BASIN FILTER
PROPOSED BUILDING
STABILIZED ENTRANCE



**ISSUED FOR
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REV. 1- 04-12-2022



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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
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NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 DATE: 09-10-2021

SCALE: 1" = 60' DWG. NAME: C1670-15

DESIGNED BY: JPS CHECKED BY: PLC

PREPARED BY:



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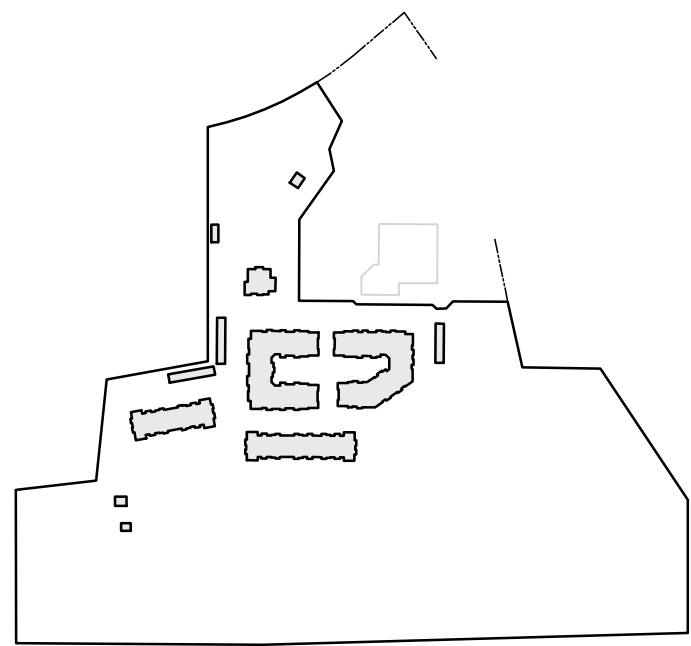
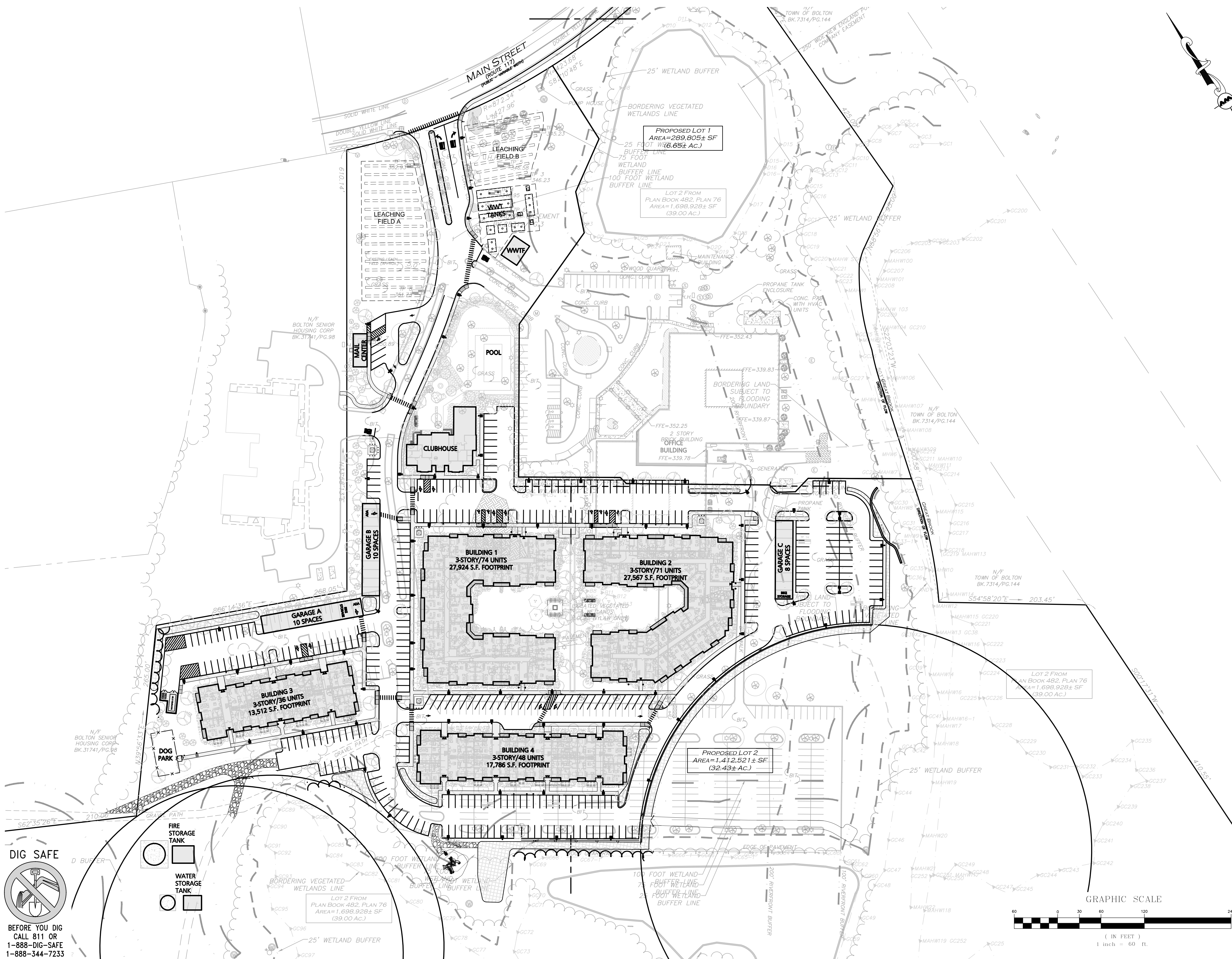
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DRAWING TITLE: SHEET NO.

EROSION CONTROL PLAN C-100

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**ISSUED FOR
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REV. 1 - 04-12-2022



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Associates Inc.,
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 DATE: 09-10-2021

SCALE: 1" = 60' DWG. NAME: C1670-15

DESIGNED BY: PGM/JPS CHECKED BY: PLC

PREPARED BY:

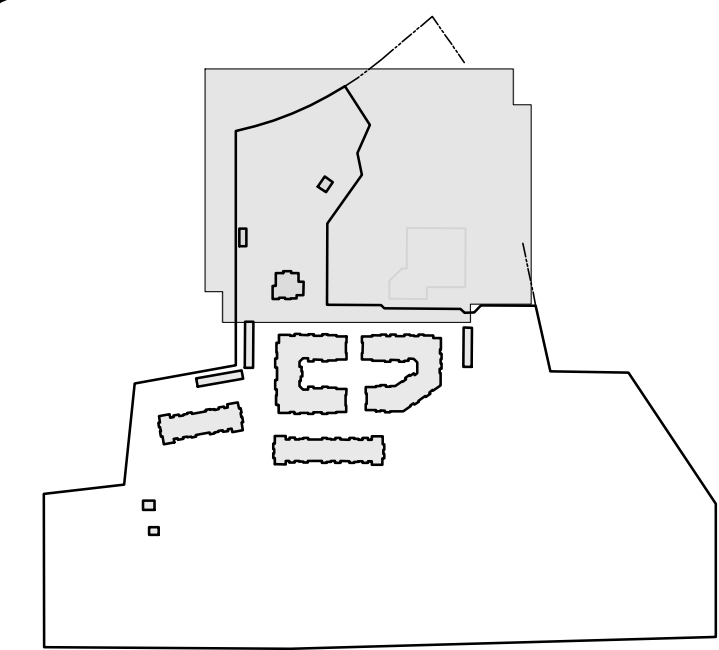
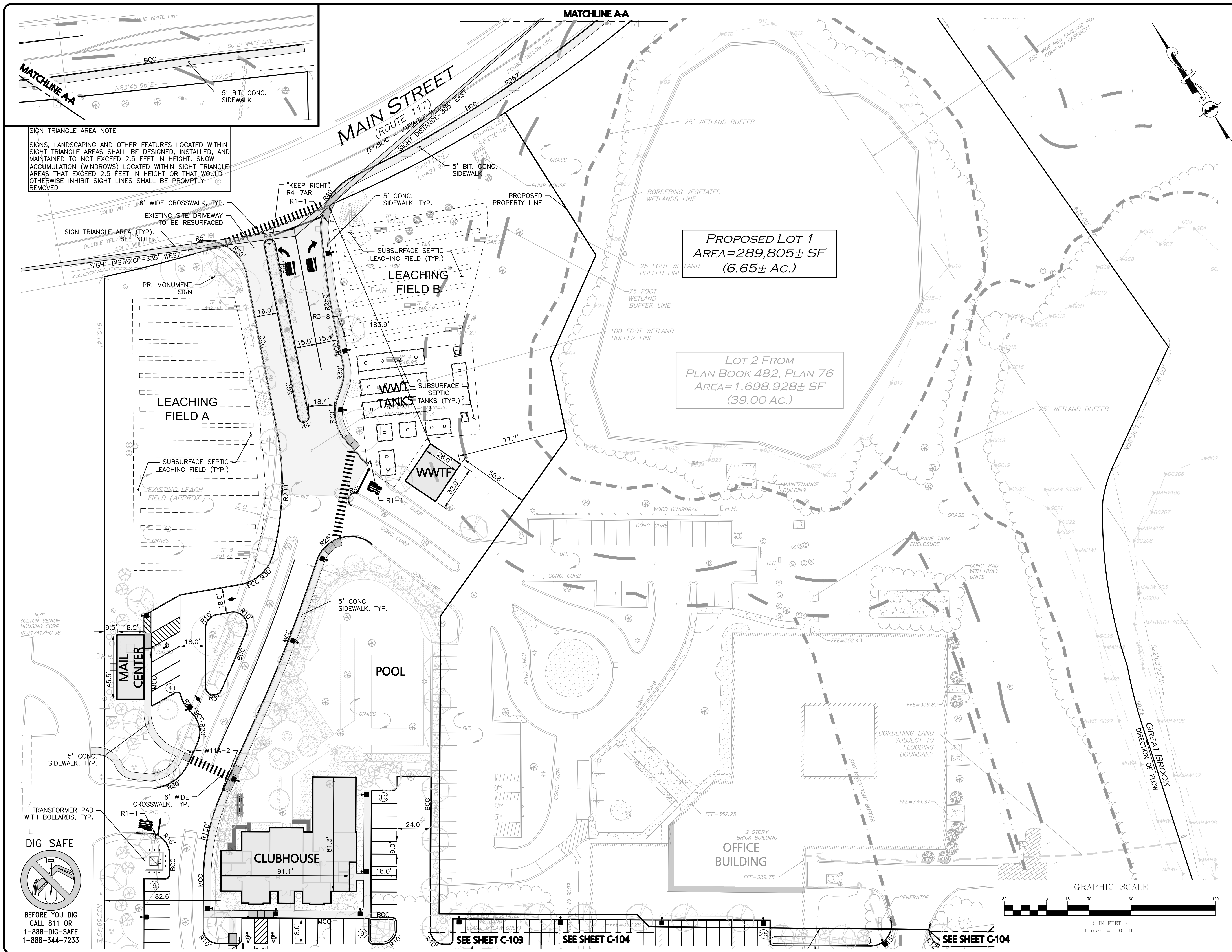
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FAX: (508) 923-6309
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DRAWING TITLE: OVERALL LAYOUT & MATERIALS PLAN
SHEET No. C-101

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KEYSHEET

**ISSUED FOR
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PERMIT APPLICATION**
REV. 1- 04-12-2022



Philip L. Cordero
c/o US, c/o Allen and Major
Associates Inc.
0002012, c/o Philip L. Cordero
2022.04.13 12:31:09 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
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WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
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NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO.	1670-15	DATE:	09-10-2021
SCALE:	1" = 30'	DWG. NAME:	C1670-15
DESIGNED BY:	PGM/JPS	CHECKED BY:	PLC

PREPARED BY:

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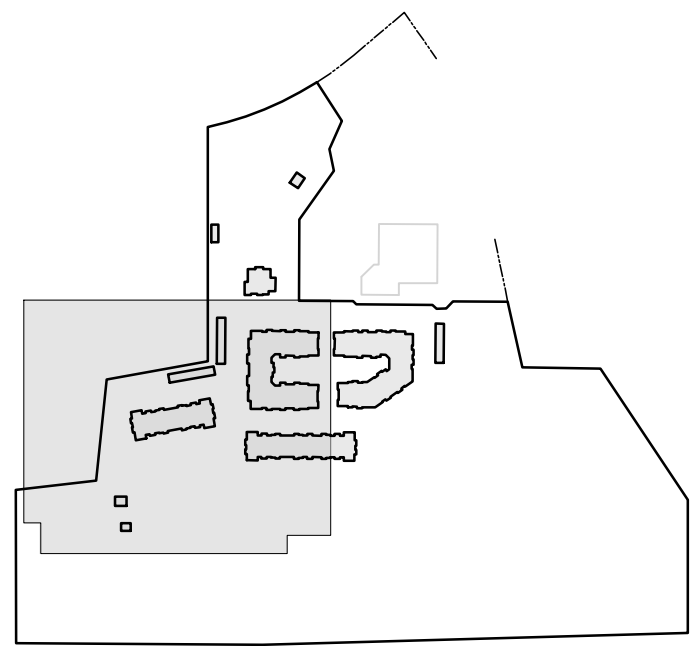
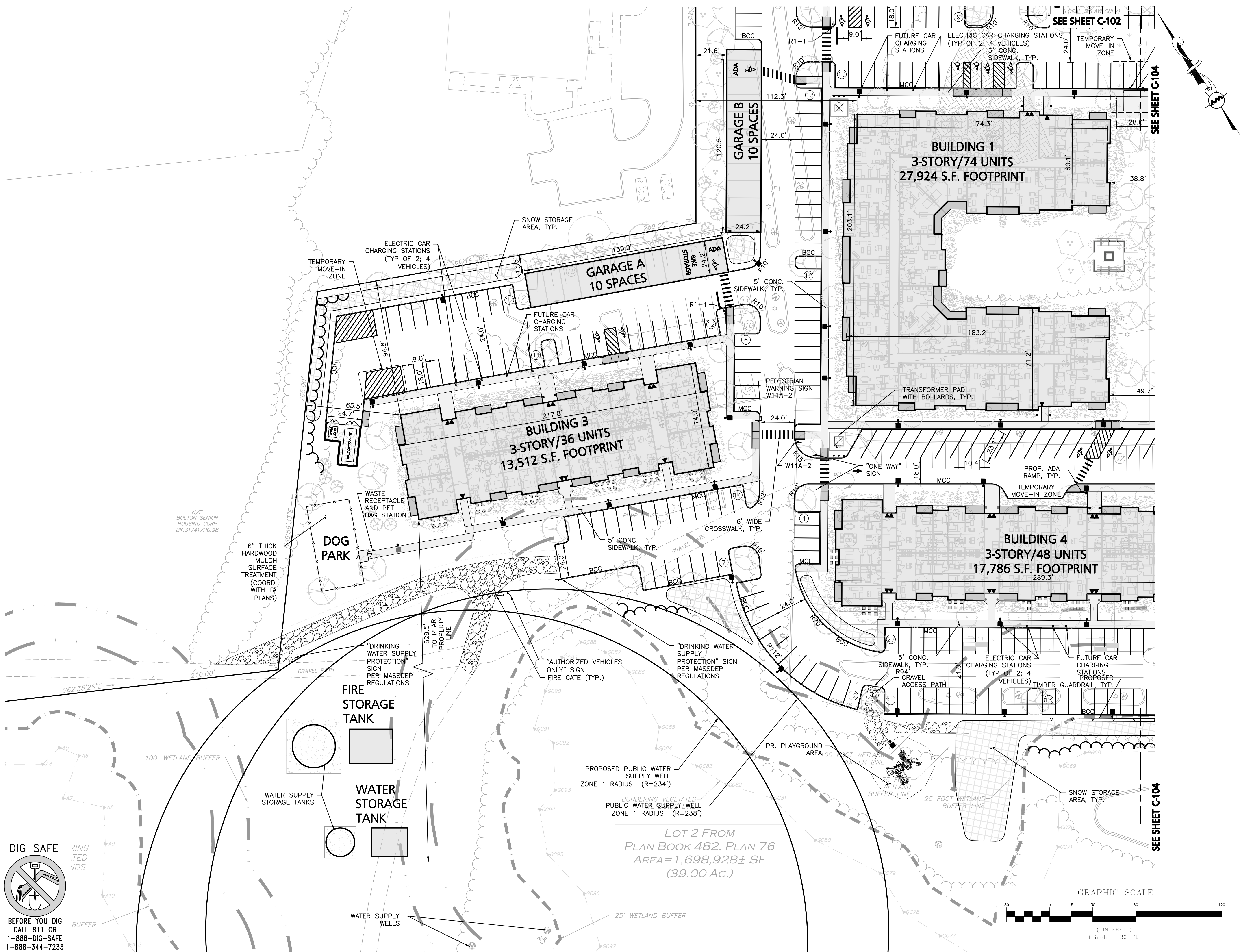
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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102

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ISSUED FOR COMPREHENSIVE PERMIT APPLICATION
REV. 1- 04-12-2022



Philip L. Cordeiro
c=US, o=Allen and Major Associates Inc., ou=A01410C00000175798B84FD
00002012, cn=Philip L. Cordeiro 2022.04.13 12:32:05 -04'00'
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
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580 MAIN STREET BOLTON, MA

PROJECT NO.	1670-15	DATE:	09-10-2021
SCALE:	1" = 30'	DWG. NAME:	C1670-15
DESIGNED BY:	PGM/JPS	CHECKED BY:	PLC

PREPARED BY:

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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-103



NOTES:

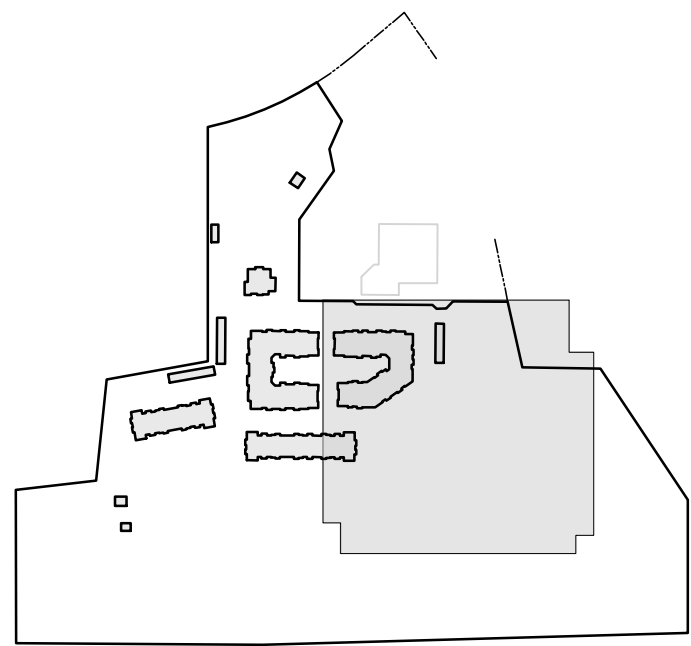
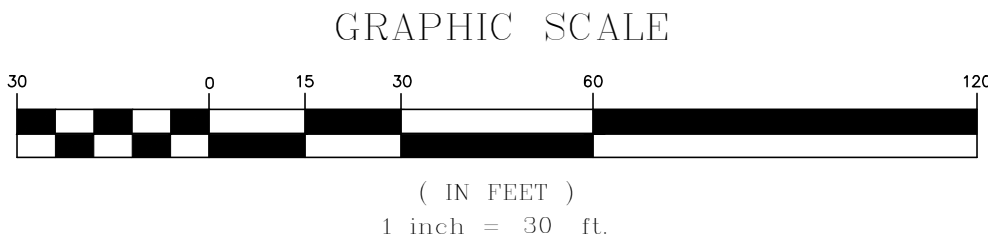
1. A TOTAL NUMBER OF 382 PARKING SPACES ARE PROVIDED THROUGHOUT THE SITE ON LOT 2, WHICH CONSISTS OF THE FOLLOWING BREAKDOWN:
 - 338 EXTERIOR STANDARD SPACES
 - 15 EXTERIOR ACCESSIBLE SPACES
 - 2 GARAGE ACCESSIBLE SPACE
 - 27 STANDARD GARAGE SPACES
2. PARKING IS PROVIDED AT A RATIO OF 1.67 SPACES/UNIT.

LEGEND	
PROP. PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING ARCHITECTURE	
BUILDING INTERIOR WALLS	
CURB	
RETAINING WALL	
PARKING STRIPING	
ROADWAY STRIPING	
TRAFFIC ARROWS	
HEAVY DUTY CONCRETE	
SIDEWALK	
BRICK SIDEWALK	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SNOW STORAGE	
GRAVEL ACCESS	
SETBACK LINE	
SAW-CUT LINE	
PARKING COUNT	
STEEL GUARDRAIL	
WOOD GUARDRAIL	
CHAIN LINK FENCE	
WOOD FENCE	
DECORATIVE FENCE	
TREE LINE	
TRANSFORMER	

ZONING SUMMARY CHART		
LIMITED BUSINESS DISTRICT		
ITEM	REQUIRED	PROP. LOT 2
MINIMUM LOT AREA	1.5 AC.	32.43 AC.
MINIMUM LOT FRONTAGE	200'	309.32'
MINIMUM LOT WIDTH	150'	366.16'
MINIMUM FRONT SETBACK	50'	183.92'
MINIMUM SIDE SETBACK	25'	9.52'
MINIMUM REAR SETBACK	25'	463.80'
BUILDING HEIGHT	32'	N/A ⁽⁴⁾
MAX IMPERVIOUS COVERAGE	50%	18.12%

NOTES:


- (1) MINIMUM LOT WIDTH SHALL BE MEASURED AT A DISTANCE OF 100-FT FROM THE STREET.
- (2) SIDE & REAR YARD SETBACKS SHALL BE INCREASED TO 50 FEET IF ABUTTING A RESIDENTIAL USE.
- (3) THE PROPERTY IS ALSO LOCATED WITHIN THE WIRELESS COMMUNICATION OVERLAY DISTRICT (WCOD), MIXED USE VILLAGE OVERLAY DISTRICT (MVOD) AND THE FLOODPLAIN OVERLAY DISTRICT.
- (4) BUILDING HEIGHT IS DEFINED UNDER SECTION 250-13. f. OF THE TOWN OF BOLTON CODE. NO MAXIMUM HEIGHT IS SPECIFIED FOR RESIDENTIAL USE STRUCTURES.



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 Philip L Cordeiro
c=US, o=Allen and Major
Associates Inc.,
ou=A01410C00000175798B84FD0
0002012, cn=Philip L Cordeiro
2022.04.13 12:32:45 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	04-12-2022	PER REVIEW COMMENTS
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
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LEXINGTON, MA 02421

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NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO.	1670-15	DATE:	09-10-2021
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SCALE: 1" = 30' DWG. NAME: C1670-15

DESIGNED BY: PGM/JPS | CHECKED BY: PLC

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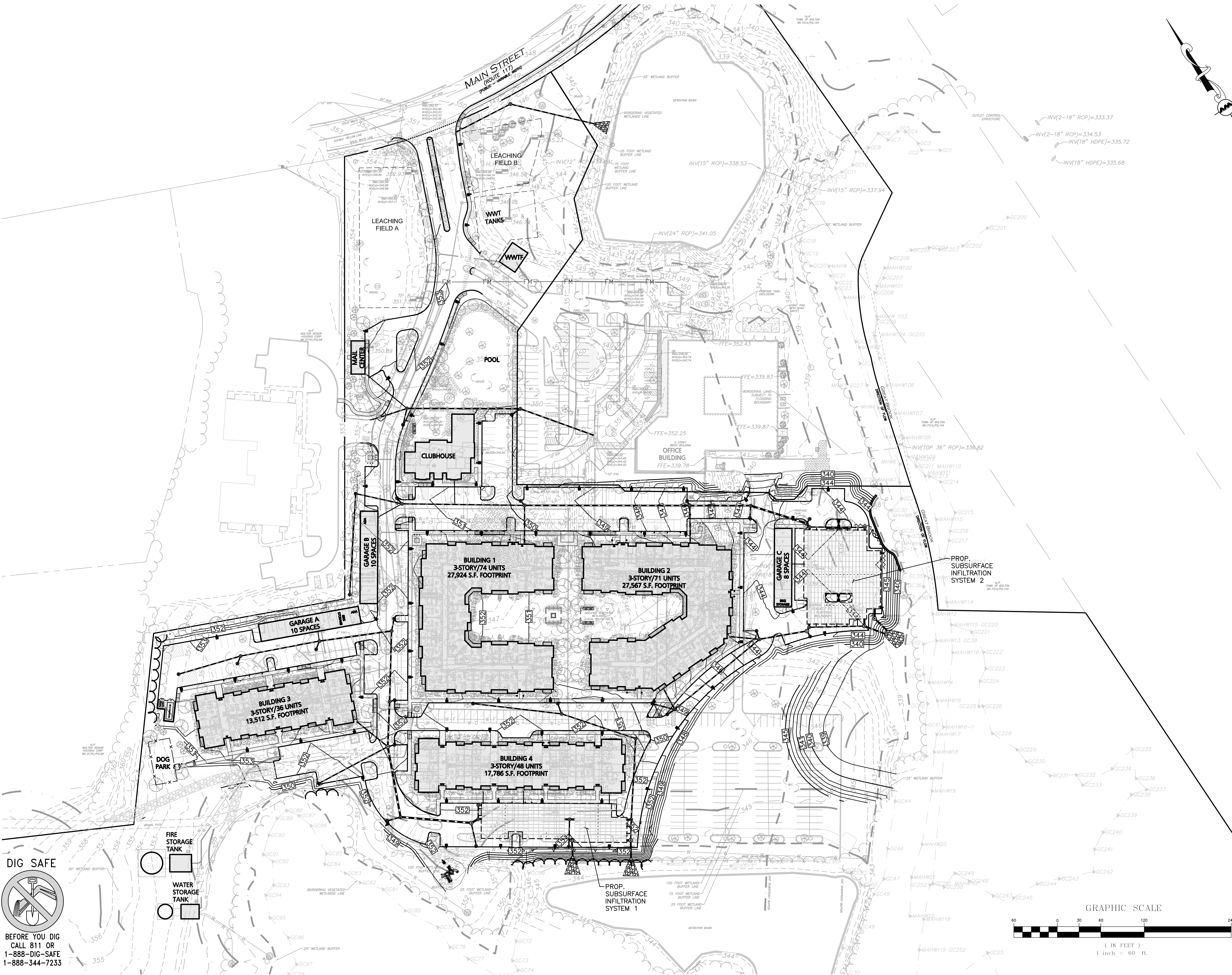
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DRAWING TITLE:	SHEET No.
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LAYOUT & MATERIALS PLAN | C-104

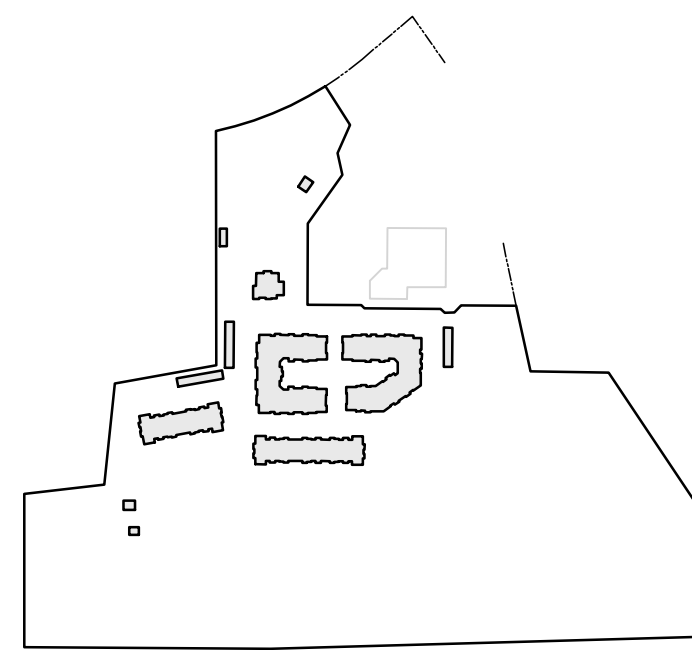
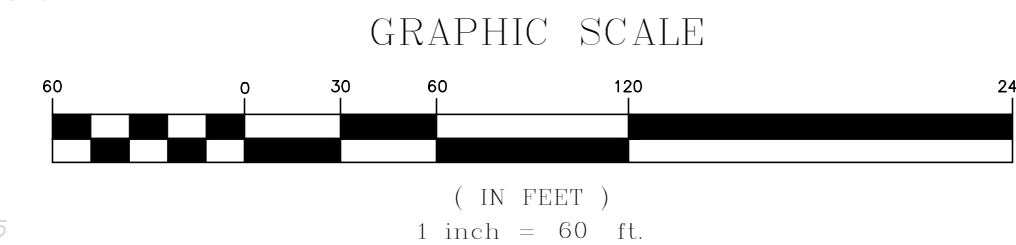
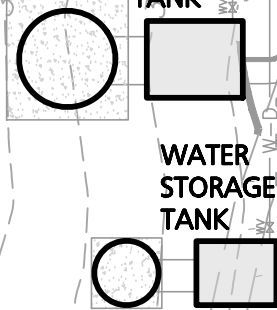
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Philip L. Cordeiro
c=US, o=Allen and Major
Associates Inc.,
ou=A01410C00000175798B84FD
00002012, cn=Philip L. Cordeiro
2022.04.13 12:33:27 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 DATE: 09-10-2021

SCALE: 1" = 60' DWG. NAME: C1670-15

DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

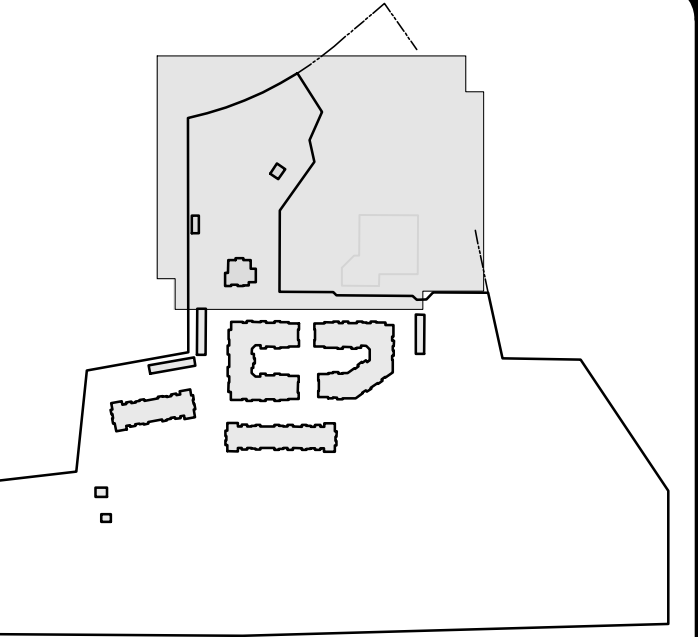
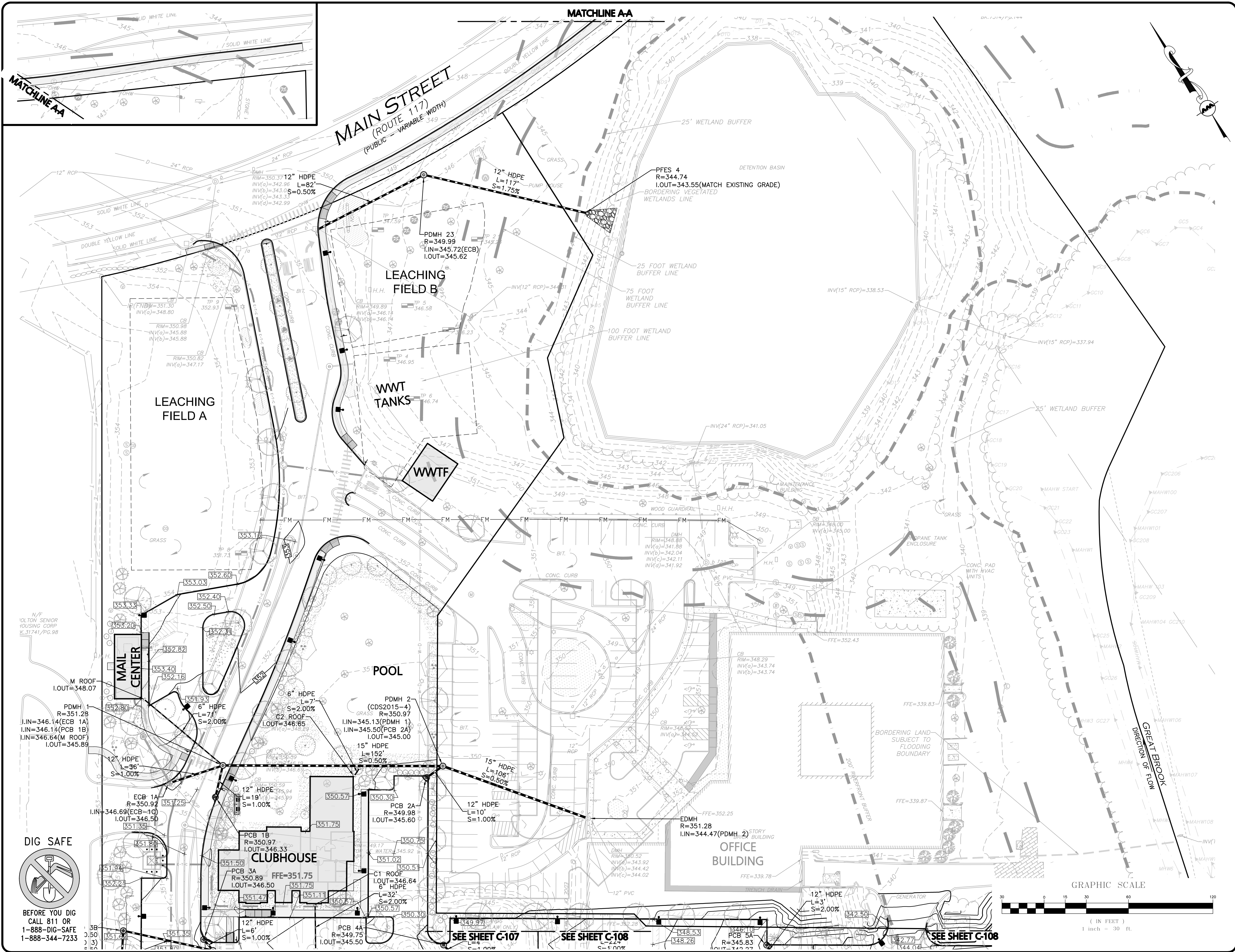
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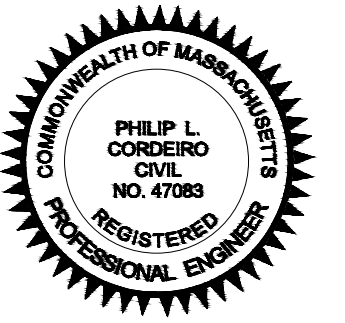
DRAWING TITLE: SHEET NO.
GRADING & DRAINAGE
OVERVIEW PLAN C-105

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REV. 1- 04-12-2022



Philip L. Cordeiro
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ou=A01410C0000175798B84F
D00002012, cn=Philip L. Cordeiro
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	04-12-2022	PER REVIEW COMMENTS
REV	DATE	DESCRIPTION

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LEXINGTON, MA 02421

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NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 DATE: 09-10-2021

SCALE: 1" = 30' DWG. NAME: C1670-15

DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:

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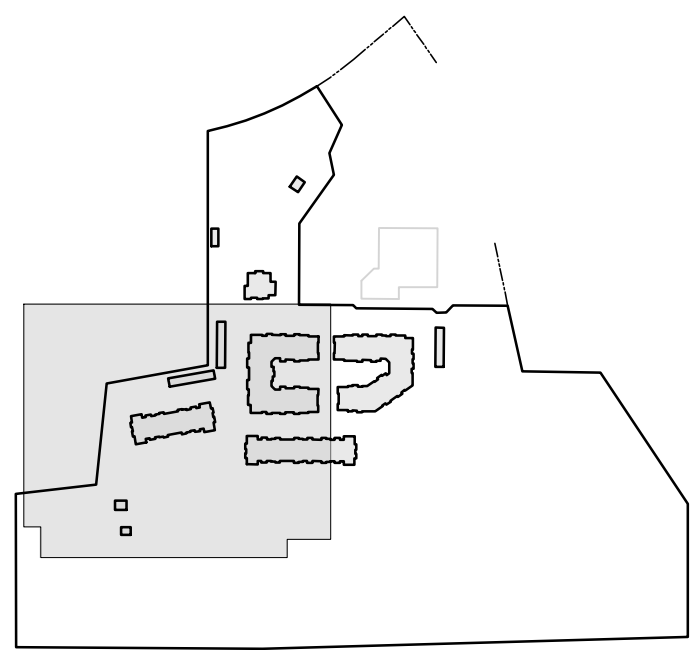
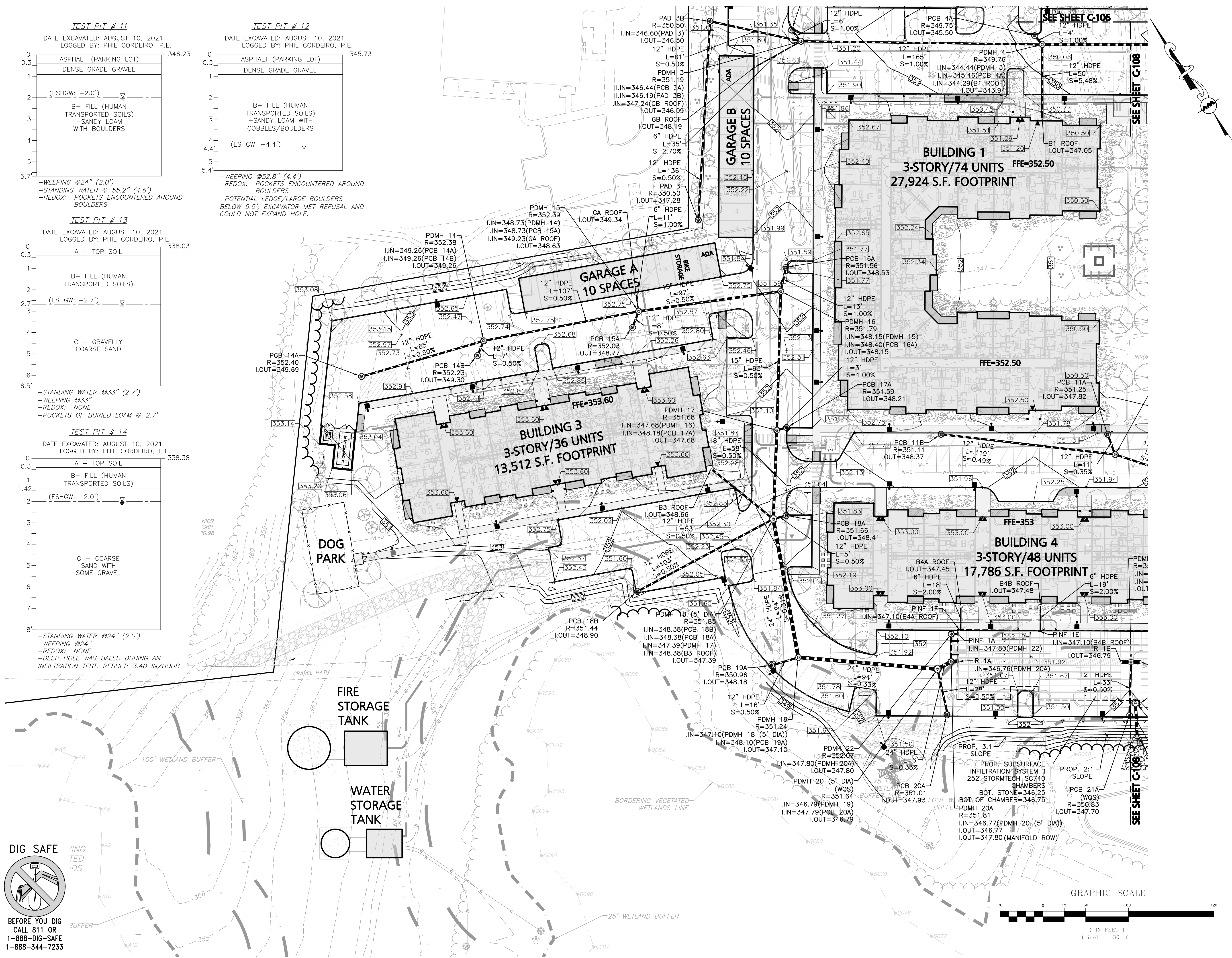
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GRADING & DRAINAGE PLAN C-106

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Philip L. Cordeiro
csls, csls and Major Associates Inc.,
ou=A01410C000001757988B4FD0
0002012, cn=Philip L. Cordeiro
2022.04.13 12:34:49 -0400

PROFESSIONAL ENGINEER FOR
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PREPARED BY:



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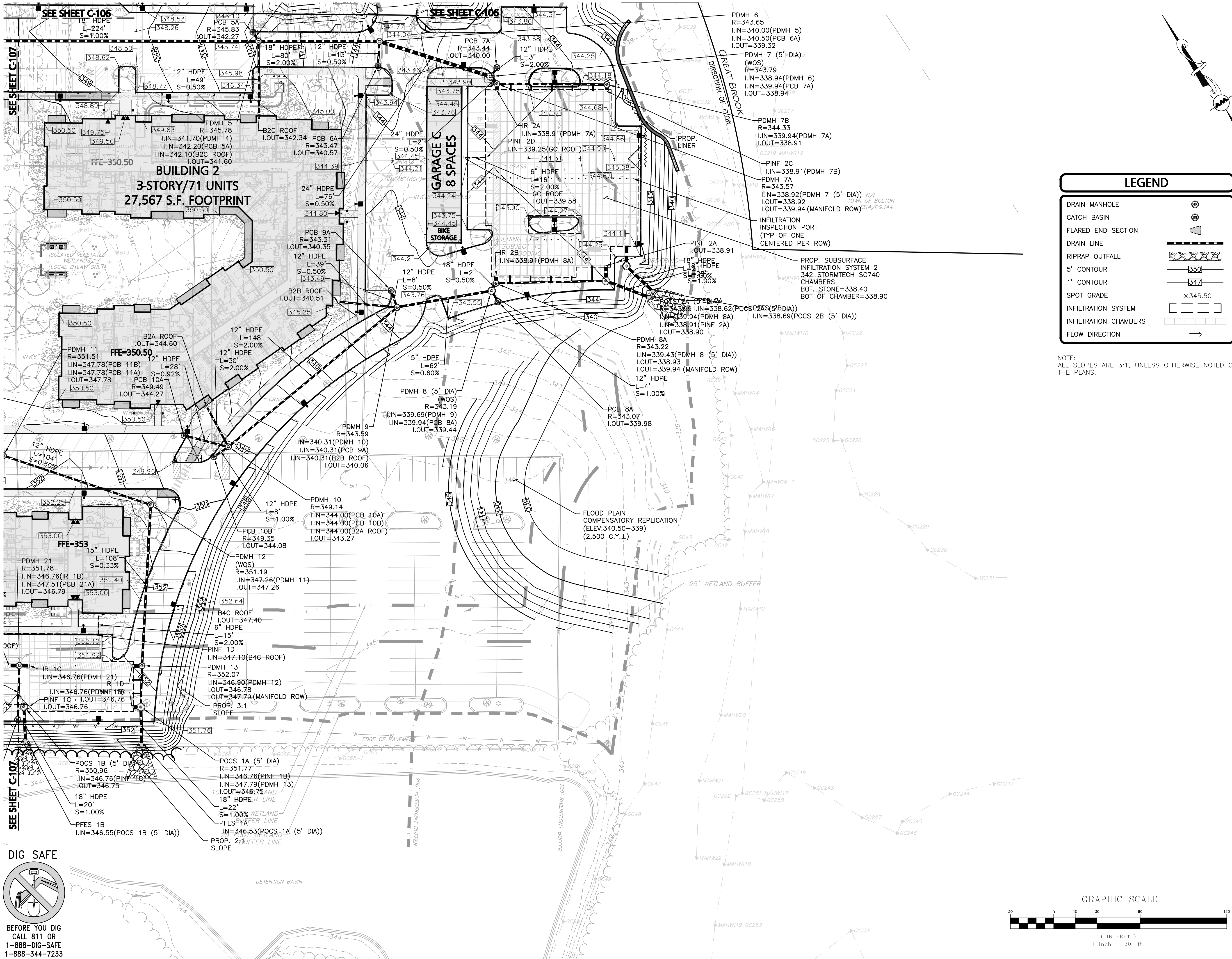
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GRADING & DRAINAGE PLAN C-107



LEGEND

DRAIN MANHOLE

CATCH BASIN

FLARED END SECTION

DRAIN LINE

RIPRAP OUTFALL

5' CONTOUR

1' CONTOUR

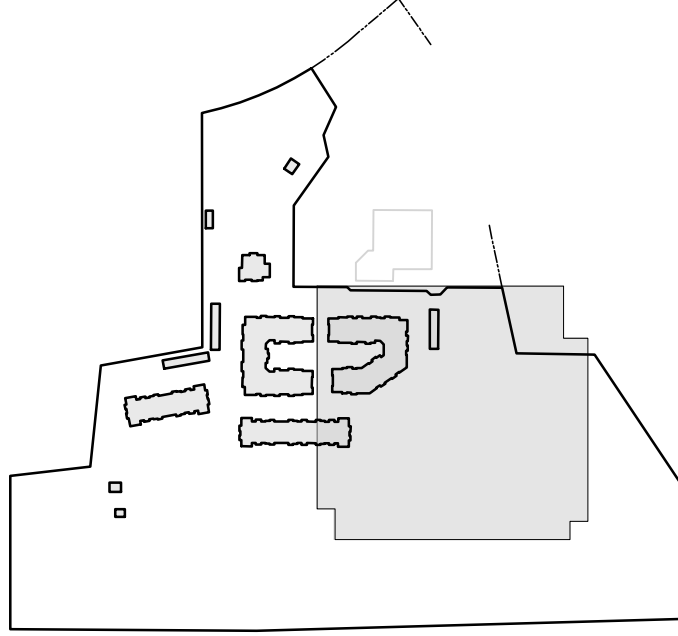
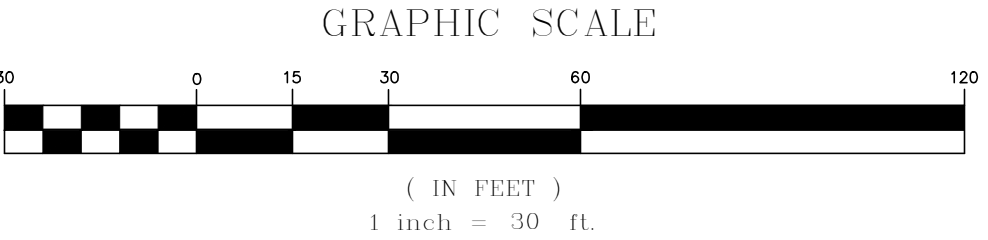
SPOT GRADE

INFILTRATION SYSTEM

INFILTRATION CHAMBERS

FLOW DIRECTION

NOTE:
ALL SLOPES ARE 3:1, UNLESS OTHERWISE NOTED ON THE PLANS.



KEYSHEET

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REV. 1 - 04-12-2022



Philip L. Cordeiro
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Associates Inc.,
ou=A01410C000001757988B4FD
00002012, cn=Philip L. Cordeiro
2022.04.13 12:35:28 -04'00'

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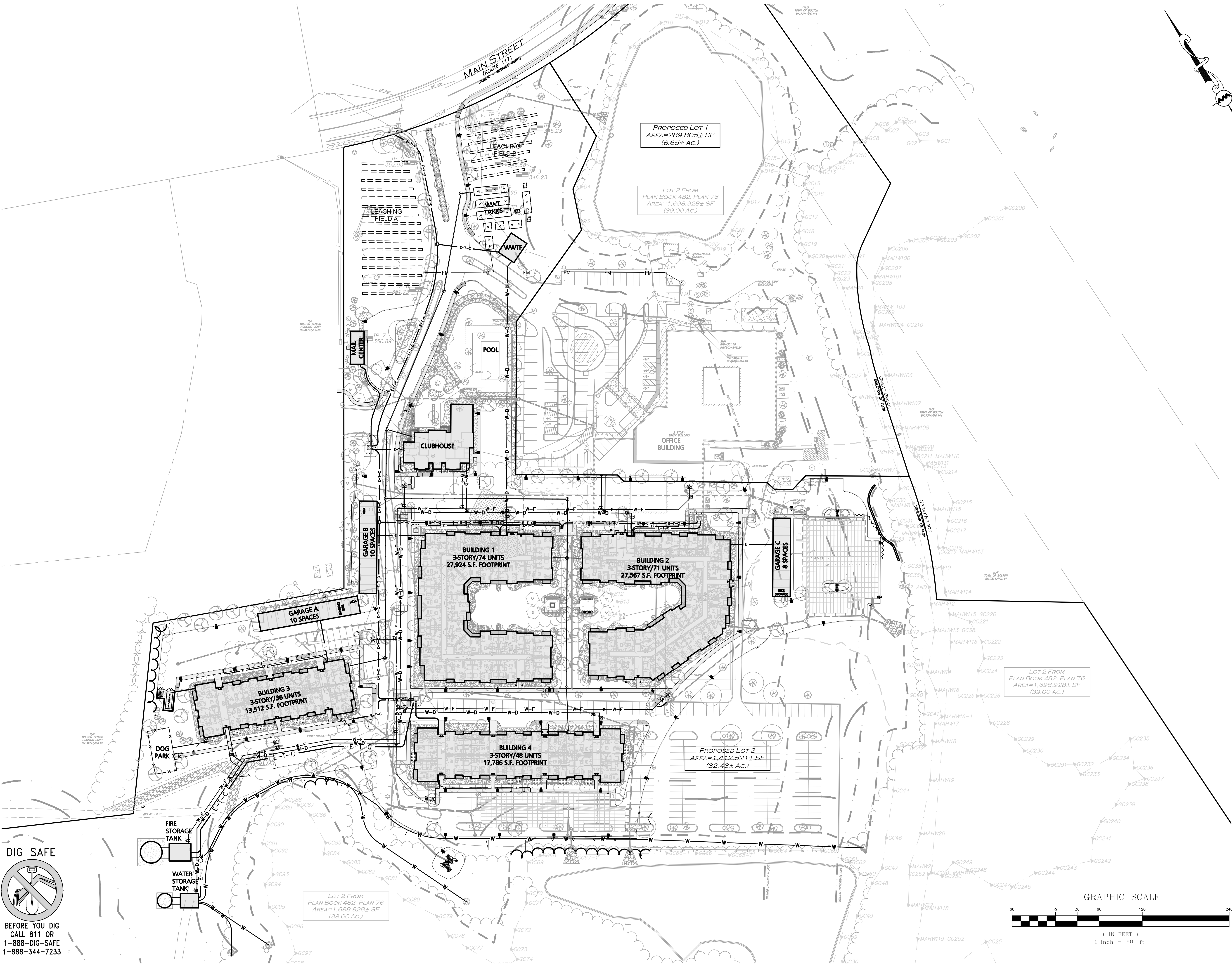
GRADING & DRAINAGE PLAN C-108

M:\PROJECTS\1670-15\CIVIL\DRAWINGS\CURRENT\C-1670-15 UTILITIES.DWG

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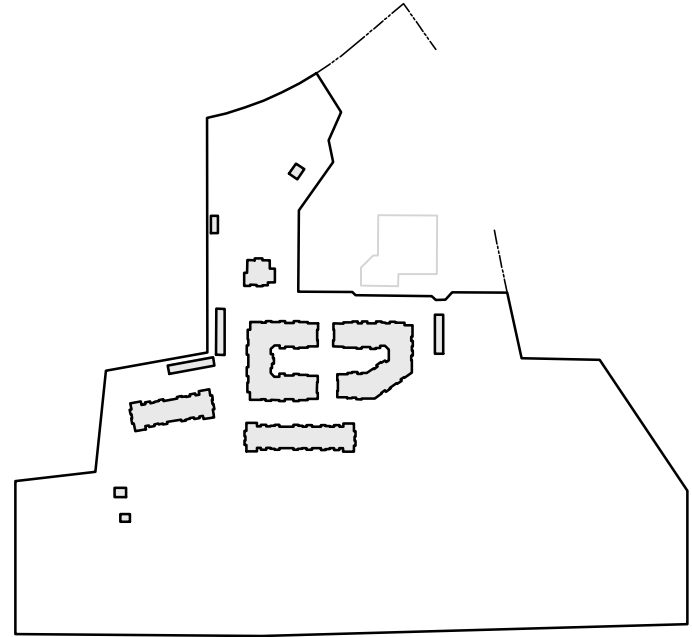
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GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



KEYSHEET

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Philip L. Cordeiro
c=US, o=Allen and Major
Associates Inc.,
ou=A01410C00000175798B4F
D00002012, cn=Philip L. Cordeiro
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PROFESSIONAL ENGINEER FOR
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DESIGNED BY: CHECKED BY: PLC

PREPARED BY:



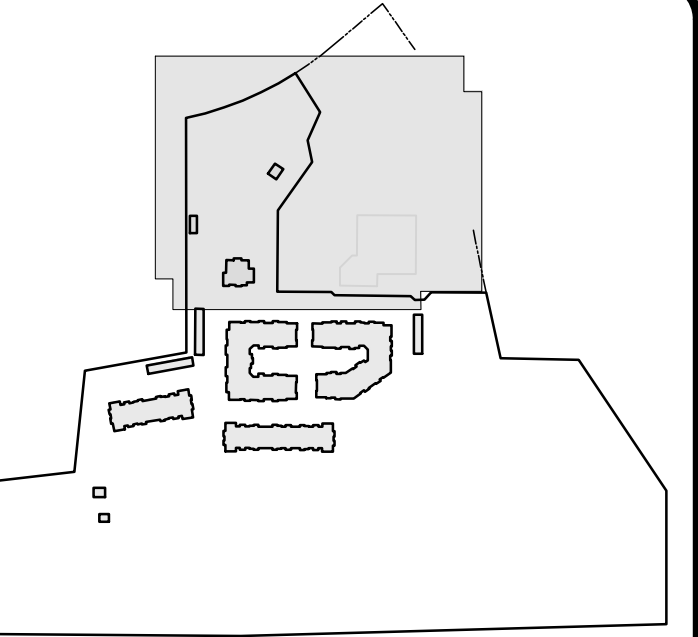
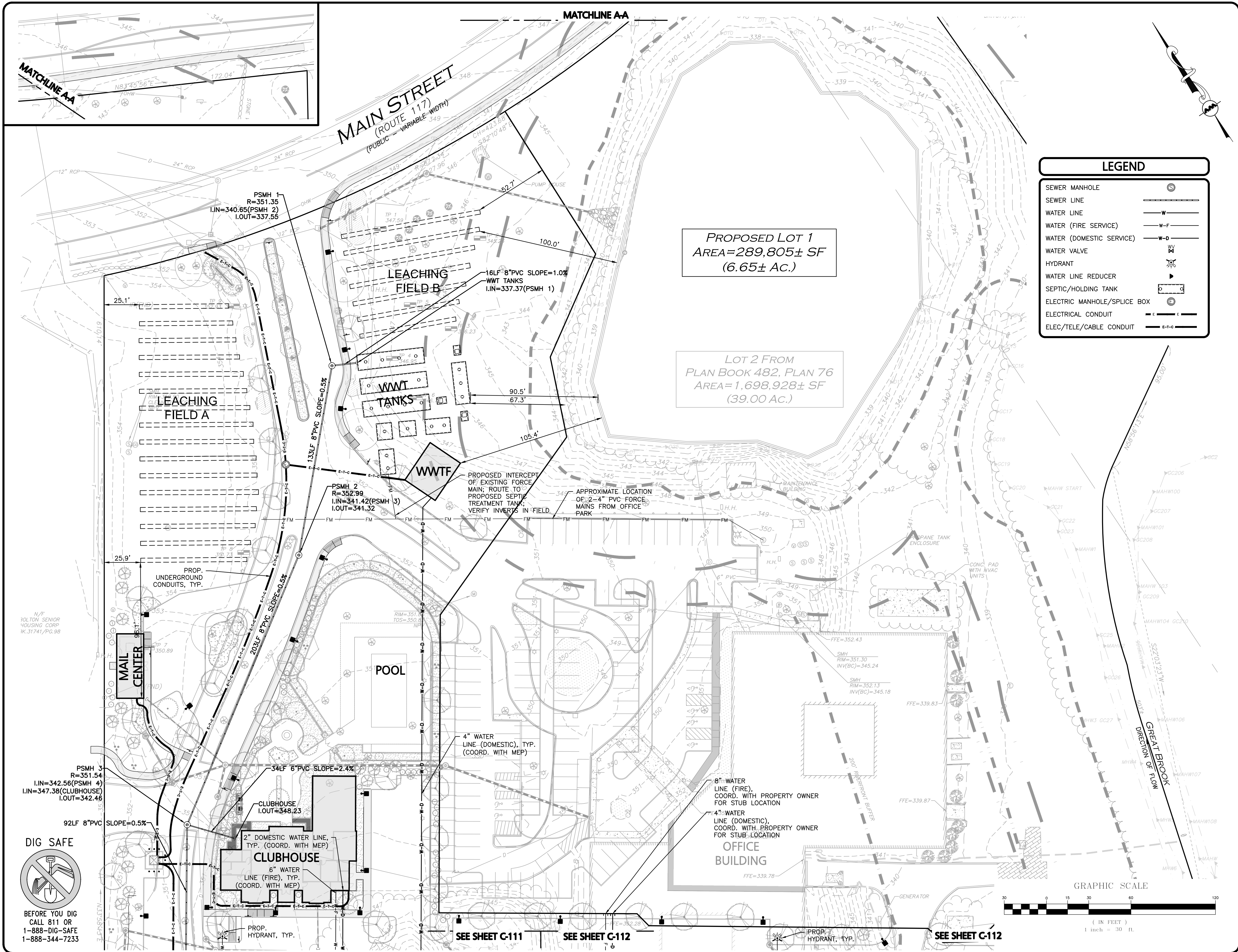
**ALLEN & MAJOR
ASSOCIATES, INC.**
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environmental consulting • landscape architecture
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UTILITIES PLAN C-109



KEYSHEET

**ISSUED FOR
COMPREHENSIVE
PERMIT APPLICATION**
REV. 1- 04-12-2022



Philip L. Cordeiro
c=US, o=Allen and Major
Associates Inc.,
ou=A01410C00000175798B84F
D00002012, cn=Philip L. Cordeiro
2022.04.13 12:36:49 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-12-2022	PER REVIEW COMMENTS

APPLICANT/OWNER:
LIMITED DIVIDEND AFFILIATE OF
WP EAST ACQUISITIONS, LLC.
91 HARTWELL AVENUE, 3RD FLOOR
LEXINGTON, MA 02421

PROJECT:
APPLICATION FOR
COMPREHENSIVE PERMIT ALTA
NASHOBA VALLEY
580 MAIN STREET BOLTON, MA

PROJECT NO. 1670-15 **DATE:** 09-10-2021

SCALE: 1" = 30' **DWG. NAME:** C1670-15

DESIGNED BY: **CHECKED BY:** PLC

PREPARED BY:

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