



TOWN OF BOLTON BOARD OF APPEALS

Town Hall, 663 Main Street, Bolton MA 01740
Phone 978-779-3308 Fax 978-779-5461

Filed with the Town Clerk on:


BOLTON TOWN CLERK
2023 JUL 20 PM12:26

Pamela H. Powell
TOWN CLERK

APPLICATION FOR HEARING

PART I. Background Information (Provided by Applicant to the Town Clerk):

Applicant/Petitioner:	Bolton Office Park LLC
Address of applicant:	100 Grandview Road, Suite 312, Braintree, MA 02184
Applicant is:	X-Owner <input type="checkbox"/> -Tenant <input type="checkbox"/> -Licensee <input type="checkbox"/> -Prospective Buyer
Property address:	580 Main Street, Bolton, MA
Assessor Map/Parcel Number of property	Map 004.C Parcel 24.0
Deed reference(s):	Book : <u>49223</u> Page <u>:19</u>
Owner name (if person other than applicant)	
Owner address:	100 Grandview Road, Suite 312, Braintree, MA 02184
Owner telephone number:	(781) – 552 - 4202
Application & all other materials and fee for:	<input type="checkbox"/> -Variance, \$100 + \$6 per abutter on certified abutters list X -Special Permit, \$100 + \$6 per abutter on certified abutters list <input type="checkbox"/> -Appeal of Decision, \$100 <input type="checkbox"/> -Comprehensive Permit Administrative Fee - \$500.00 Consultant Review Fee - \$5,000 plus \$100/unit <input type="checkbox"/> -Amend Existing Decision (\$100 + \$6 per abutter for special permits and variances; \$500 administrative fee for comprehensive permits if change(s) are deemed substantial. If necessary, additional consultant review fee determined by ZBA)

Description of problem for which relief is sought:	The applicant is seeking a reduction in the required number of parking spaces at the above referenced property. The reconfigured parking lot will be located at the front of the building and will contain 129 parking spaces which is a reduction from the required 161 parking spaces. The change in parking count is related to the reduced building footprint that will be demolished to accommodate the WP East Acquisition, LLC approval and a change in office demand with the less need for parking and the property basement use.	
Applicable section(s) of Zoning Bylaws or other reference for consideration by Board of Appeals:	Zoning Bylaw section 250-17.C(5)(a) – Relief from parking regulations	
Justification for request: (attach additional information if necessary)	<p>Section 250-17.C(5)(a) allows the Zoning Board to allow a reduced number of parking spaces if the Board finds that it is not practicable to provide the required number of spaces. Section 2) allows a reduction in the cast of a change from one-conforming use to another conforming use, that the lack of parking spaces will not create undue congestion or traffic hazards on or off the site.</p> <p>The applicant has owned this parcel for over 15 years and understands the tenants needs and available tenant spaces and believes that 129 parking spaces is more than adequate for the office space use that will remain on site after demolition of the excess space.</p>	
<p>The undersigned certifies that he/she has read and examined this application and the Bolton Zoning Board of Appeals Rules and Regulations, and that the proposed project is accurately represented in the statements made in this application.</p>		
<p>I hereby request a hearing before the Board of Appeals with reference to the above application.</p>		
 Property Owner's Signature (REQUIRED)	7/10/23 Date	
 Property Owner's Signature (REQUIRED)	 Date	
 Applicant's Signature (if different from owner)	 Date	



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This form, completed by the applicant, must accompany the pertinent application materials (see sections 4, 5, or 6 of the Zoning Board of Appeals Rules and Regulations) to comprise a complete application.

This application will be reviewed by the Board of Appeals. An application found to be incomplete upon receipt by the Board of Appeals may be returned to the applicant for completion and re-filing. The date of any re-filing shall be the date of the application.

*** FOR VARIANCE APPLICATIONS ONLY ***

Applicant/Petitioner:	
Property address:	

REQUIREMENTS TO BE MET FOR GRANTING VARIANCE

As set forth in M.G.L c.40A § 10 & Zoning Board of Appeals Rules & Regulations § 4.2

The Applicant shall explain how the following conditions are met:

4.2.1 That there are circumstances that exist relating to the soil conditions, shape, or topography of the land or structures that uniquely affect such land or structures, but that do not affect generally the zoning district in which such land is located.

Rear Development Site and the loss of the secondary parking lot.

To accommodate the WP East Acquisition, LLC development the parking will be located 100% in the front side of the building.

The ANR Subdivision property line restricts additional parking elsewhere on the site.

The work to be performed is entirely within the existing parking curbs presently on site.

4.2.2 That literal enforcement of the provisions of the Bolton Zoning Bylaws would involve substantial hardship, financial or otherwise, to the applicant.

There is no other location on site that can accommodate the additional parking.

Also to make way and assure the development of the WP East Acquisition will proceed to benefit the town with increased taxes.

The Bolton Office Park has sat with vacancy too many years as Route 495 Office has never fully recovered. Higher and better uses are being sought for various 495 office sites.

4.2.3 That the desired relief may be granted without substantial detriment to the public good.

The requested relief will not impact the Town of Bolton in any manner financially, aesthetically, or operationally and will right size the parking for the demand needed for the remaining office building.

4.2.4 That the desired relief may be granted without nullifying or substantially derogating from the intent and purpose of Bolton Zoning Bylaws.

The requested relief will not impact the Town of Bolton in any manner financially, aesthetically, or operationally and will right size the parking for the demand needed for the remaining office building.

MAIN STREET OFFICE BUILDING

LOCATION MAP NOT TO SCALE

- 1 COVER SHEET
- 2 AERIAL AND HALF MILE RADIUS
- 3 NOTES AND LEGEND
- 4 EXISTING CONDITIONS PLAN (BY OTHERS)
- 5 SOIL EROSION & SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 GRADING, DRAINAGE AND UTILITIES
- 8 DETAIL SHEET - 1
- 9 DETAIL SHEET - 2
- 10 LANDSCAPE PLAN

SWPPP / O&M
THE STORMWATER POLLUTION PREVENT PLAN (SWPPP) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

Z:\DEPT\PROJECTS\0432-008 MAIN STREET 180\AUTOCAD DRAWINGS\0432-008-C\DRAWING PLOTTED 7/14/2023

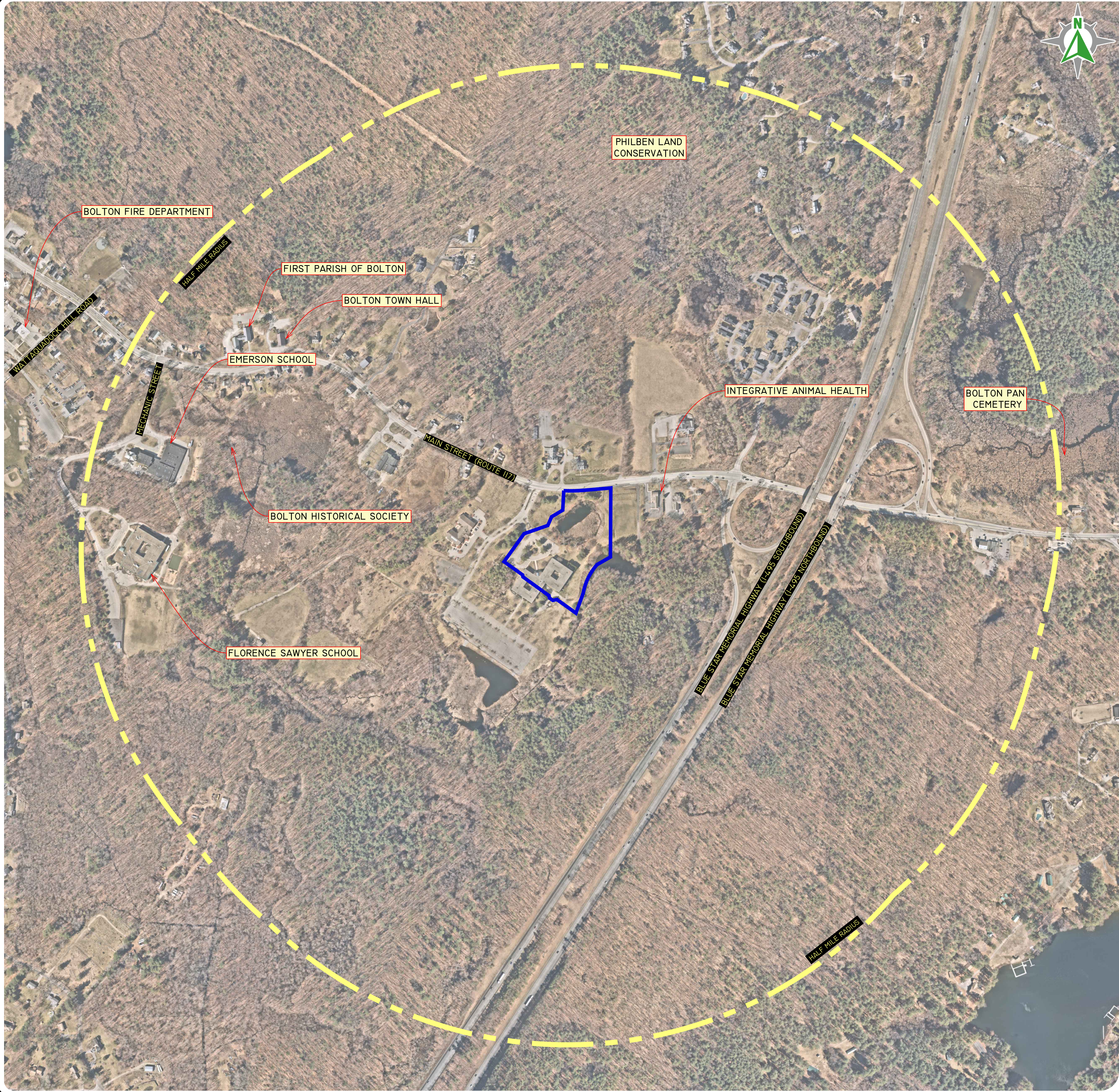
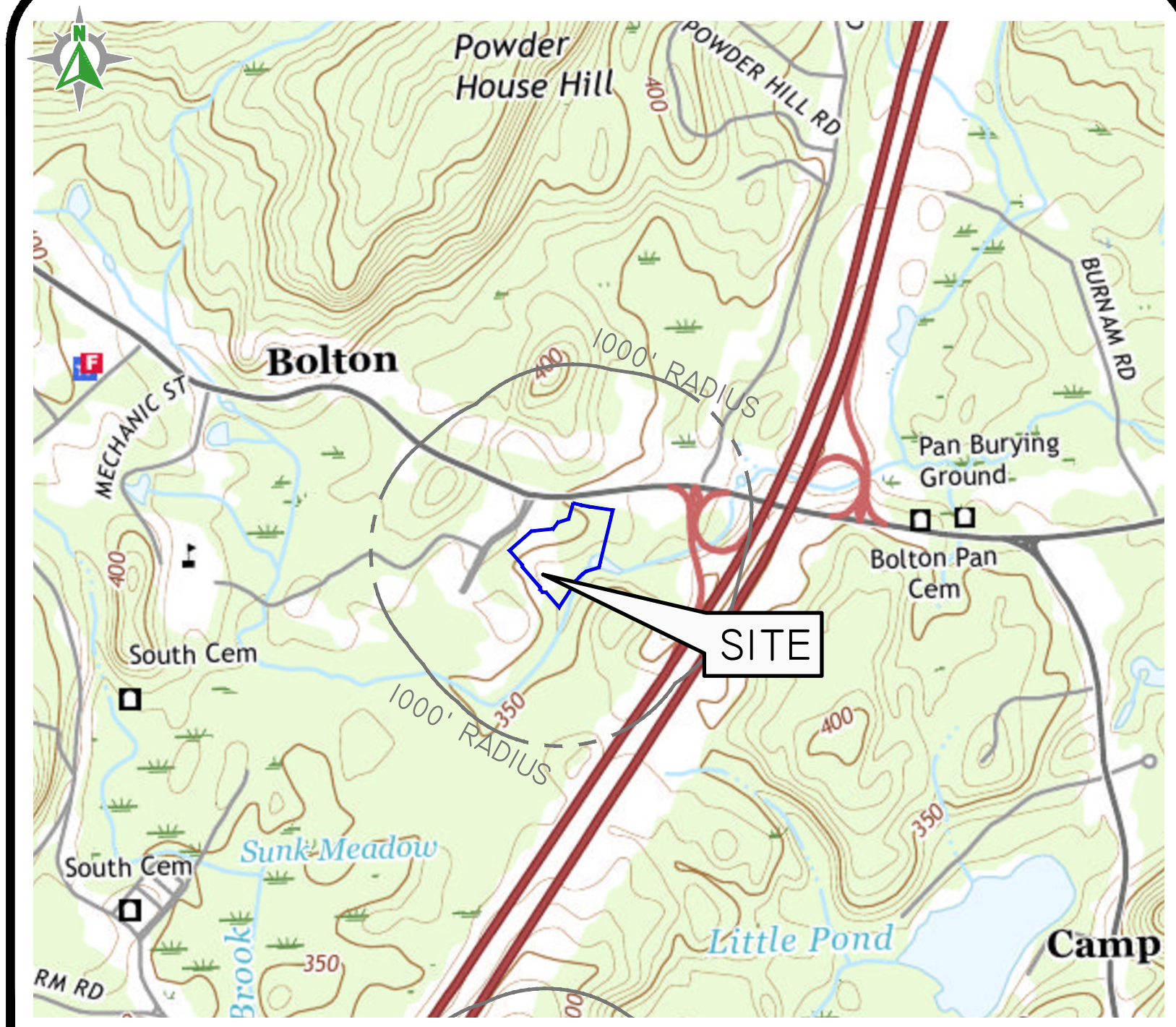


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 03/27/2023.

SCALE: 1"=300'
0 150' 300' 600'



USGS MAP SCALE: 1"=1000'

AERIAL AND HALF MILE RADIUS
MAIN STREET OFFICE BUILDING
ASSESSOR'S MAP 004.C LOT 24.0
BOLTON, MASSACHUSETTS
PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAINTREE, MASSACHUSETTS, 02184
TEL 781-552-4202

SHEET **2** OF 10

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES
UNLESS IT IS FIRST REVIEWED AND APPROVED BY THE
REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE
ASSESSOR'S MAP 004.C LOT 24.0
PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE
ENGINEERING, INC. 100 GRANDVIEW ROAD, SUITE 312, BRAINTREE,
MASSACHUSETTS, 02184
THE CANTON, MASSACHUSETTS, 02142
METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OTHER
DESIGN INFORMATION IN THE IMPLEMENTATION OF THIS PLAN AND
DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
THE LOCATION, DEPTH, OR CHARACTER OF ANY UTILITIES.
SEE "UTILITY NOTE" ON SHEET 3.

COMMONWEALTH OF MASSACHUSETTS
BRANDON D. CARP
No. 51472
REGISTERED PROFESSIONAL ENGINEER
06/26/2023
Brandon D. Carp

DiPrete Engineering
105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0022 fax 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

GENERAL NOTES:

- THE SITE IS LOCATED ON THE TOWN OF BOLTON ASSESSOR'S MAP 4C LOT 24.0.
- THE SITE IS APPROXIMATELY 6.59 ACRES AND IS ZONED LIMITED BUSINESS DISTRICT.
- THE OWNER OF MAP 4C LOT/PARCEL 24 IS:
BOLTON OFFICE PARK LLC
100 GRANDVIEW ROAD, SUITE 312
BRAINTREE, MASSACHUSETTS, 02184
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AND A. REFERENCE FEMA FLOOD INSURANCE RATE MAP 25027C0486F, MAP REVISED MONTH JULY, 2014. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
 - ZONE A - THIS SITE IS LOCATED IN FEMA FLOOD ZONE A. ZONE A ARE AREAS OF 100-YEAR FLOOD BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY HALNON LAND SURVEYING, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A SURVEY PLAN IN CONFORMANCE WITH THE RULES AND REGULATIONS AS STATED IN CMR 250 SECTION 6.00.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS, TOWN OF BOLTON STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
- THIS PLAN SET REFERENCES MASSDOT HIGHWAY DIVISION STANDARD DETAILS (DESIGNATED AS MASSDOT STD XXX.X.X). MASSDOT STANDARD DETAILS ARE AVAILABLE FROM MASSDOT AND ONLINE AT [HTTPS://WWW.MASS.GOV/LISTS/CONSTRUCTION-DETAILS](https://www.mass.gov/lists/construction-details)
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PRIVATE WWTs.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF BOLTON LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE MASSDEP BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN (I) PHASE
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVES MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)
SOIL NAME DESCRIPTION
65U UDORTHENTS, SMOOTHED, 0 TO 3 PERCENT SLOPES

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE CIVIL ENGINEER OF RECORD (CEOR) AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SNALES, TEMPORARY SEDIMENT TRAPS, TEMPORARY SEDIMENTATION PONDS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (MESCG) AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). NOTE THE SOIL EROSION AND SEDIMENT CONTROL, SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE MESCG, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE MESCG BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SWPPP WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES, PURSUANT TO NOTE 1 ABOVE, SWPPP REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SWPPP RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- TEMPORARY SNALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK. TEMPORARY SNALES MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SNALES HAVE BEEN STABILIZED, THE TEMPORARY SNALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SNALES, TO BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAPS/SEDIMENT BASINS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT BASINS/TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADDES.
- FINAL PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS, INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK, MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING MUST BE PRECAST CONCRETE.
- SIDEWALK MUST BE MONOLITHIC CONCRETE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCO AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN OR NOT SHOWN ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/ MOUNTING TYPE, PAVEMENT MARKING LOCATIONS/ TYPE/ WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DROD PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- THE HOUSES SHOWN ARE SCHEMATIC ONLY AND WILL BE DESIGNED PRIOR TO BUILDING PERMIT APPLICATIONS.
- CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, ANY DISTURBED PAVEMENT ON ROADWAYS AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

REDEVELOPMENT NOTES:

- ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES, TO REMAIN, WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
- THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN, REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER, WHERE POSSIBLE.
- NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER AND DIPRETE ENGINEERING.
- AMERICANS WITH DISABILITIES ACT (ADA) NOTES:
 - ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
 - MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
 - ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
 - A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
 - FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
 - NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
 - NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

GRADING, DRAINAGE, AND UTILITY NOTES:

- CONSTRUCTION TO COMMENCE FALL 2023 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A MASSACHUSETTS LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE ALLOWED ON SITE.
- CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
- IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
- CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DRAINAGE

DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- DRAINAGE MANHOLES (DMH): MASSDOT STD. 202.4.0 OR APPROVED EQUAL
- DRAIN MANHOLE FRAMES AND COVERS: MASSDOT STD. 202.6.0 OR APPROVED EQUAL
- ALL CATCH BASINS WITHIN PARKING LOT MUST CONTAIN HOODS, AND INCLUDE 4" SUMP.
- ALL MANHOLES MUST SUPPORT AASHTO HS20-44 LOADING.
- ALL STRUCTURES LABELED "PD" ARE PROPRIETARY STORMWATER DEVICES. PD-XX IS MODEL.....
- FOR ALL OTHER DRAINAGE STRUCTURES, IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION/ DEPTH TO MEET FINISH INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND SLOPE SIZES TO TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

WATER

ALL WATER LINES MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE TOWN OF BOLTON WATER & SEWER AUTHORITY AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS, AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL, GRID/APPROPRIATE UTILITY AUTHORITY PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE MUST BE COORDINATED WITH OTHER UTILITIES AND MUST BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND

ADA	AMERICANS WITH DISABILITY ACT	(M)	MEASURED
AHJ	AUTHORITY HAVING JURISDICTION	MEP	MECHANICAL/ELECTRICAL/ PLUMBING
AP	ASSESSOR'S PLAT	ENGINEER	
ARCH	ARCHITECT	N/F	NOW OR FORMERLY
BC	BOTTOM OF CURB	OHW	OVERHEAD WIRE
BT	BOTTOM OF TESTHOLE	PE	POLYETHYLENE
B10	BITUMINOUS (BERM)	ℙ	PROPERTY LINE
BIO	BIORETENTION	PR	PROPOSED
BS	BASEMENT SLAB ELEVATION	PVC	POLYVINYL CHLORIDE
BW	FINISHED GRADE AT BOTTOM OF WALL	R	RADIUS
CB	CATCH BASIN	R&D	REMOVE AND DISPOSE
(C)	CALCULATED	RCP	REINFORCED CONCRETE PIPE
CL	CENTERLINE	RL	ROOF LEADER
(CA)	CHORD ANGLE	ROW	RIGHT-OF-WAY
CLDIP	CEMENT LINED DUCTILE IRON PIPE	S	SLOPE
CEOR	CIVIL ENGINEER OF RECORD. DIPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER	SD	SUBDRAIN
SED	SEDIMENT FOREBAY	SF	SQUARE FOOT
SFL	STATE FREEWAY LINE	SFM	SEWER FORCE MAIN
SG	SEWER FORCE MAIN	SG	SLAB ON GRADE ELEVATION
SHL	STATE HIGHWAY LINE	SHM	SEWER MANHOLE
SNDF	SAND FILTER	SNF	SAND FILTER
DP	DETENTION POND	SS	SIDE SLOPE
ELEV	ELEVATION	STA	STATION
ESC	EDGE OF PAVEMENT	TC	TOP OF CURB
EX	EXISTING	TD	TRENCH DRAIN
FES	FLARED END SECTION	TF	TOP OF FOUNDATION
TRANS	TRANSITION	TW	TRANSITION
GS	FINISH FLOOR ELEVATION	GW	GRADE AT TOP OF WALL
GW	GARAGE SLAB ELEVATION	GTW	GROUND WATER TABLE
HW	HEADWALL	UDS	UNDERGROUND
HC	HIGH CAPACITY CATCH BASIN GRATE	UIS	UNDERGROUND
HOPE	HIGH DENSITY POLYETHYLENE	UP	UTILITY POLE
ID	INLINE DRAIN	WQ	WALKOUT ELEVATION
INV	INVERT	WQ	WATER QUALITY
IP	INFILTRATION POND		
LARCH	LANDSCAPE ARCHITECT		
LF	LINEAR FEET		
LOD	LIMIT OF DISTURBANCE		
LP	LIGHT POLE		

SITE CALLOUTS LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

(07.2.0)	MASSDOT STD WHEELCHAIR RAMPS LESS THAN 12'-4" SIDEWALK
(ADAS)	ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCO REGULATIONS AND REQUIREMENTS.
(ADAR)	ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.
(ADAV)	VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCO REGULATIONS AND REQUIREMENTS.

EXISTING LEGEND

(AS SHOWN ON PROPOSED PLANS)

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		IRON ROD FOUND/SET
	BRUSHLINE		BOUND FOUND/SET
	TREELINE		SIGN
	GUARDRAIL		BOLLARD
	SOIL EVALUATION		CATCH BASIN
	CATCH BASIN		DOUBLE CATCH BASIN
	DETENTION MANHOLE		FLARED END SECTION
	GUY POLE		ELECTRIC MANHOLE
	LIGHTPOST		UTILITY/POWER POLE
	SEWER/SEPTIC MANHOLE		CLEANOUT
	HYDRANT		IRRIGATION VALVE
	WATER VALVE		WELL
	MONITORING WELL		UNKNOWN MANHOLE
	GAS VALVE		BENCH MARK
	STREAM FLOW DIRECTION		

PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SWALE
	GUARDRAIL SEE LAYOUT AND MATERIALS NOTE 10.		SEWER FORCE MAIN
	RETAINING WALL		GAS LINE
	MINOR CONTOUR LINE		WATER LINE
	MAJOR CONTOUR LINE		HYDRANT ASSEMBLY
	SPOT ELEVATION		WATER SHUT OFF
	EDGE OF PAVEMENT		WATER VALVE
	BITUMINOUS BERM		THRUST BLOCK
	CONCRETE CURB		SEWER LINE
	MONOLITHIC CONCRETE CURB AND SIDEWALK		OVERHEAD WIRE
	BUILDING FOOTPRINT		ELECTRIC, TELEPHONE, CABLE LINE
	BUILDING OVERHANG		LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
	ASPHALT PAVEMENT		SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES)
	HEAVY DUTY ASPHALT PAVEMENT		UNDERGROUND INFILTRATION OUTLINE
	HEAVY DUTY CONCRETE		POND ACCESS
	CONCRETE		RIPRAP
	ASPHALT SIDEWALK		SAND FILTER
	SAWCUT LINE		CATCH BASIN
	SIGN		DOUBLE CATCH BASIN
	ACCESSIBLE PARKING SPACE SYMBOLS		DRAINAGE MANHOLE
	BUILDING INGRESS/EGRESS		FLARED END SECTION
			HEADWALL
			SEWER MANHOLE
			SINGLE LIGHT
			DOUBLE LIGHT
			OVERHANGING LIGHT

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTRA OF UTILITY CONTACT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

THE INTENT OF THESE PLANS IS TO PROVIDE A PERMITTING SET TO THE REGULATORY AGENCY SUBMITTED. THESE PLANS CONTAIN THE REQUIRED INFORMATION NECESSARY FOR APPROVAL TO THE SPECIFIC AGENCY SUBMITTED AND MAY NOT HAVE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS BUT NOT LIMITED TO, FINE GRADING, GRADING BETWEEN THE CONTOUR INTERVAL, ADDITIONAL SURVEY/MAPPING, BUILDING SHAPES/LOCATION, ADA, UTILITY CONNECTIONS, UTILITY CROSSINGS, SURFACE AND GROUND WATER MITIGATION, SOIL STABILITY AND CONSISTENCY, SPECIFIC END USER NEEDS, CONSTRUCTABILITY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.

DiPrete Engineering



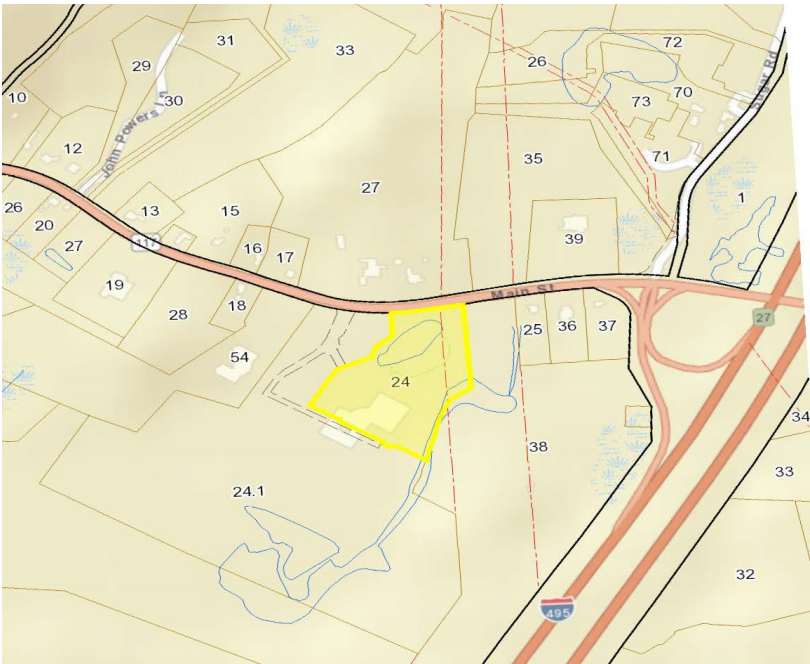
105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport



Brandon D. Carr 06/26/2019

THIS PLAN SET MUST NOT BE USED FOR



LOCUS MAP (1"=1000' ±)

NOTES:

1. THIS PLAN REFERS TO PLAN BK. 482 PG. 7, LOT 2
2. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE AM 4.C LOT 24 INTO 2 LOTS.

ZONING -LIMITED BUSINESS	REO'D	PROPOSED
	LOT 1	LOT 2
MIN. LOT SIZE (AC):	1.5	6.59
MIN. LOT FRONTAGE (FT):	200	290.68
MIN. LOT WIDTH (FT):	150	261
MIN. FRONT YARD (FT):	50	400
MIN. SIDE YARD (FT):	25	107
MIN. REAR YARD (FT):	25	25.1
MAX. BLDG. COVERAGE (%):	20	15
MAX. BLDG. HT. (FT):	32	33

THE PROPERTY IS LOCATED WITHIN THE WIRELESS COMMUNICATION OVERLAY DISTRICT (WCOD), MIXED USE VILLAGE OVERLAY DISTRICT (MVD) AND THE FLOODPLAIN OVERLAY DISTRICT.

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF MASSACHUSETTS AND COMPLIES WITH MGL c. 41, s. 81P."



P.L.S. 06/16/23
DATE

UPDATED EXISTING CONDITIONS
PLAN OF LAND
IN
BOLTON, MA
PREPARED FOR:
CONDYNE CAPITAL PARTNERS, LLC
580 MAIN STREET
BOLTON, MA
DATE: JUNE 16, 2023

SCALE: 1"=40'

HALNON
LAND SURVEYING, INC.
34 CROSS STREET
NORTON, MA 02766
t. 508-285-3141 f. 508-285-3142

Z:\DESHAIN\PROJECTS\0432-008 MAIN STREET 1500\AUTOCAD DRAWINGS\0432-008-FLANDWG PLOTTEE 7/11/2023



SOIL EROSION & SEDIMENT CONTROL PLAN

- EROSION CONTROL (COMPOST SOCK, SILT FENCE) ————
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL) ————
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL) ————
- FINAL CONTOUR GRADE ————
- CONSTRUCTION ENTRANCE [Pattern]
- INLET SEDIMENT CONTROL [Pattern]

SCALE: 1"=30'

0 15' 30' 60'

SOIL EROSION & SEDIMENT CONTROL PLAN

MAIN STREET OFFICE BUILDING

ASSESSOR'S MAP 004.C LOT 24.0
BOLTON, MASSACHUSETTS
PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAintree, MASSACHUSETTS, 02184
TEL 781-552-4202

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ACCOMPANIED BY THE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. THE CLIENT ASSUMES ALL RISK OF INADEQUATE DESIGN, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN APPROVED IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. SEE UTILITY NOTE ON SHEET 3.

BRANDON D. OARR
No. 51472
REGISTERED PROFESSIONAL ENGINEER
06/26/2023

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MAIN STREET (ROUTE 117)



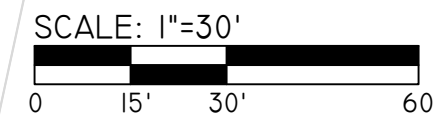
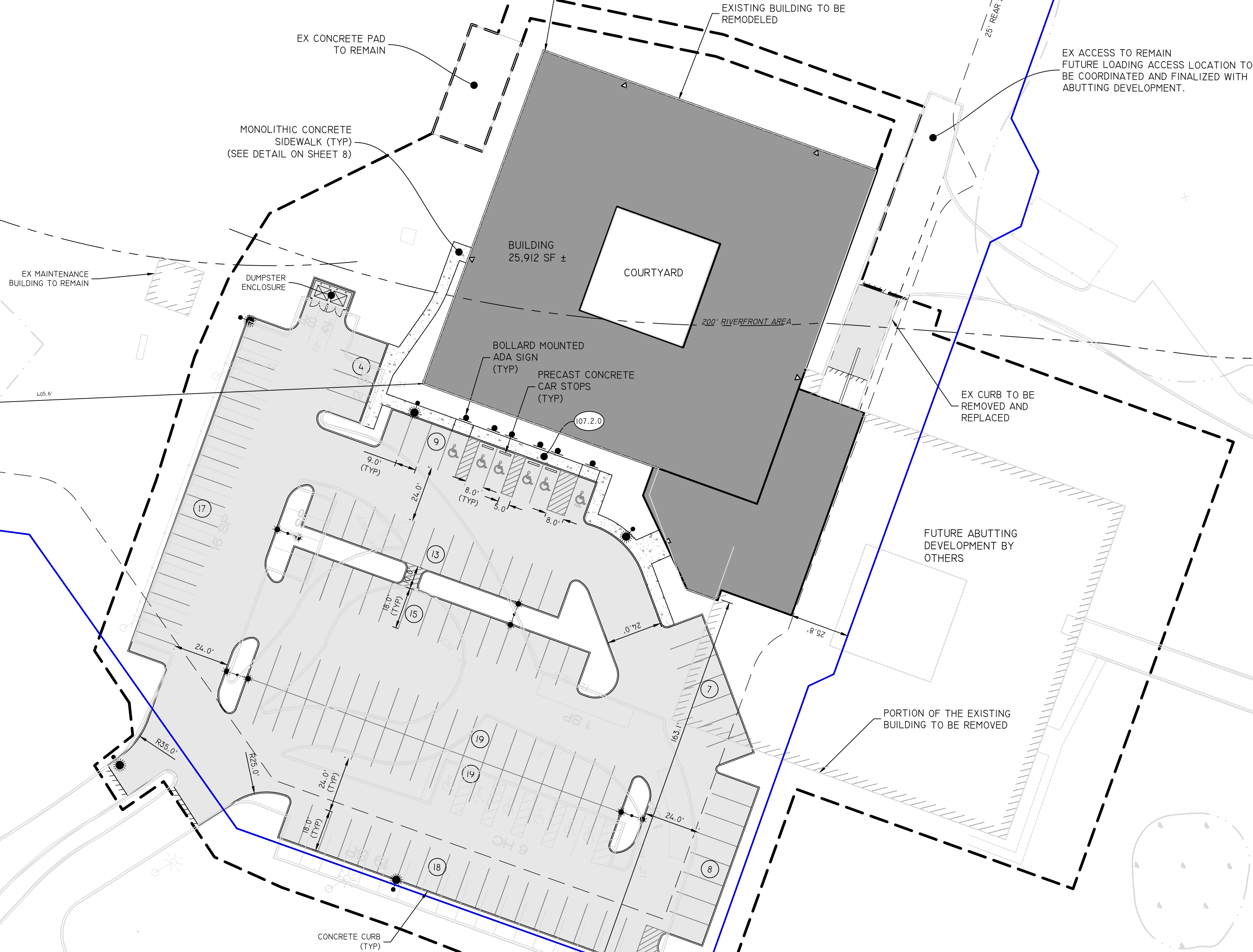
DIMENSIONAL REGULATIONS:

CURRENT ZONING:	LB (LIMITED BUSINESS DISTRICT)
MINIMUM LOT AREA:	REQUIRED 1.5 AC
MINIMUM FRONTAGE:	PROVIDED 200'
LOT WIDTH:	294.9'
MINIMUM FRONT SETBACK:	50'
MINIMUM SIDE SETBACK:	405.6'
MINIMUM REAR SETBACK:	25'
MAXIMUM STRUCTURE HEIGHT:	25.8'
MAXIMUM IMPERVIOUS COVERAGE:	32% N/A 27%

PARKING REGULATIONS:

1ST & 2ND FLOOR USE:	OFFICE BUILDING
PARKING REQUIREMENT:	1 SPACES PER 250 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	40,048 SF
REQUIRED PARKING CALCULATIONS:	40,048 X 1/250 SF = 161 SPACES
ADA PARKING REQUIRED:	5 SPACES
TOTAL PARKING SPACES REQUIRED:	161 SPACES
ADA PARKING PROVIDED:	6 SPACES
TOTAL PARKING SPACES PROVIDED:	129 SPACES*

*WAIVER IS BEING REQUESTED FOR REDUCTION OF PARKING SPACES



06/16/2023
Brandon D. Carr

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY OTHER PARTY'S ACTIONS OR OMISSIONS. THE CLIENT ASSUMES ALL RISK OF INADEQUATE DESIGN, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND DESIGN PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY UTILITIES SHOWN ON THIS PLAN. SEE 'UTILITY NOTE' ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY: I.V.P.	I.V.P.	BT:
1	6-5-2023	PRELIMINARY SET			
			DRAWN BY: I.V.P.		

SITE LAYOUT PLAN

MAIN STREET OFFICE BUILDING
ASSESSOR'S MAP 044.C LOT 24.0
BOLTON, MASSACHUSETTS

PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAINTREE, MASSACHUSETTS, 02184
TEL 781-552-4202

DE A308-ND-0032-008 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\DEPT\PROJECTS\0432-008 MAIN STREET 180\AUTOCAD DRAWINGS\0432-008-PLAN.DWG PLOTTEE: 7/11/2023

MAIN STREET (ROUTE 117)

SCALE: 1"=30'

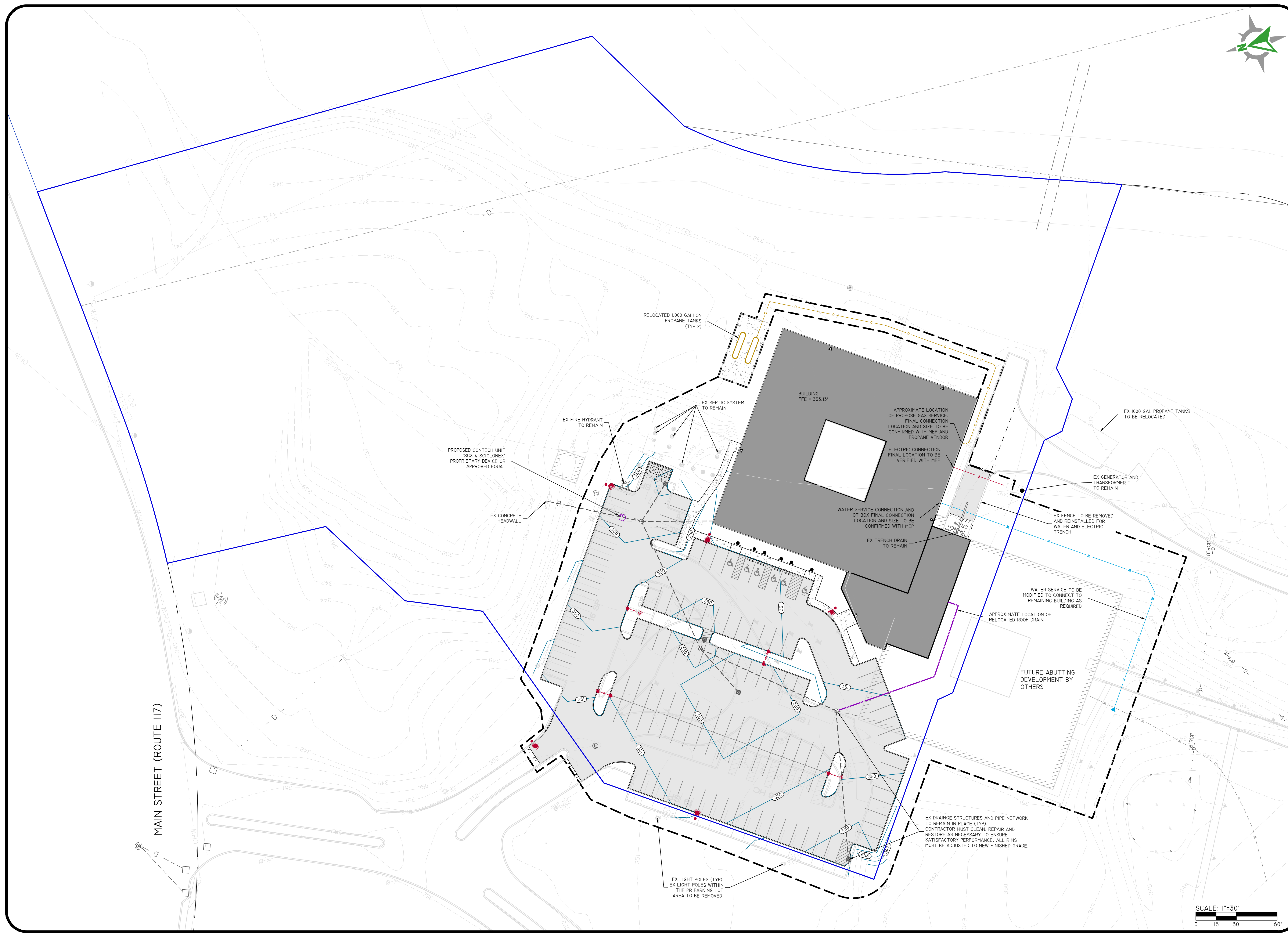
GRADING, DRAINAGE AND UTILITIES
MAIN STREET OFFICE BUILDING
ASSESSOR'S MAP 004.C LOT 24.0
BOLTON, MASSACHUSETTS
PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAINTREE, MASSACHUSETTS, 02184
TEL 781-552-4202
SHEET 7 OF 10

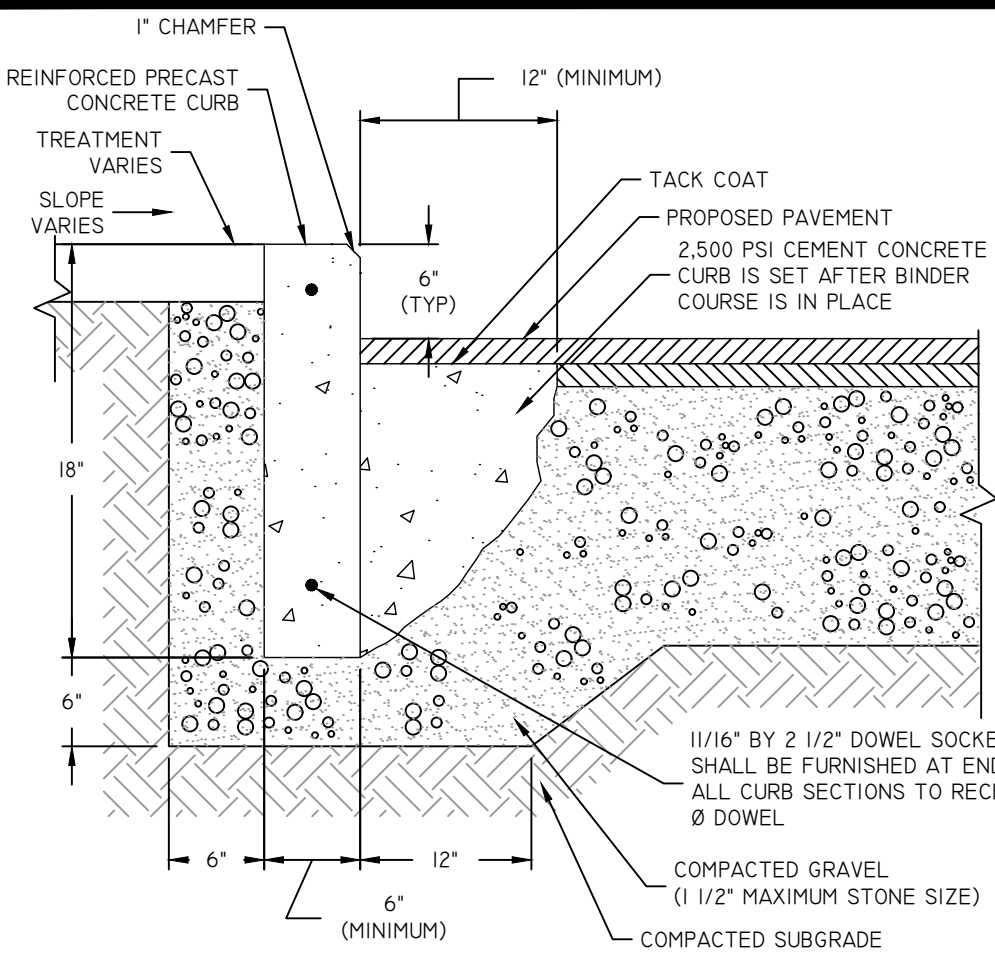
NO.	DATE	DESCRIPTION	DESIGN BY: I.V.P.
1	6-5-2023	PRESENTING SET	I.V.P.
2			BT

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE AND SEAL OF A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES, PRECAUTIONS AND REQUIREMENTS, AND OSHA METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. SEE UTILITY NOTE ON SHEET 3.

COMMONWEALTH OF MASSACHUSETTS
BRANDON D. CARR
CARR
No. 51472
REGISTERED PROFESSIONAL ENGINEER
06/26/2023
Brandon D. Carr

DiPrete Engineering
105 Eastern Avenue Suite 200 Dedham, MA 02026
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Boston • Providence • Newport

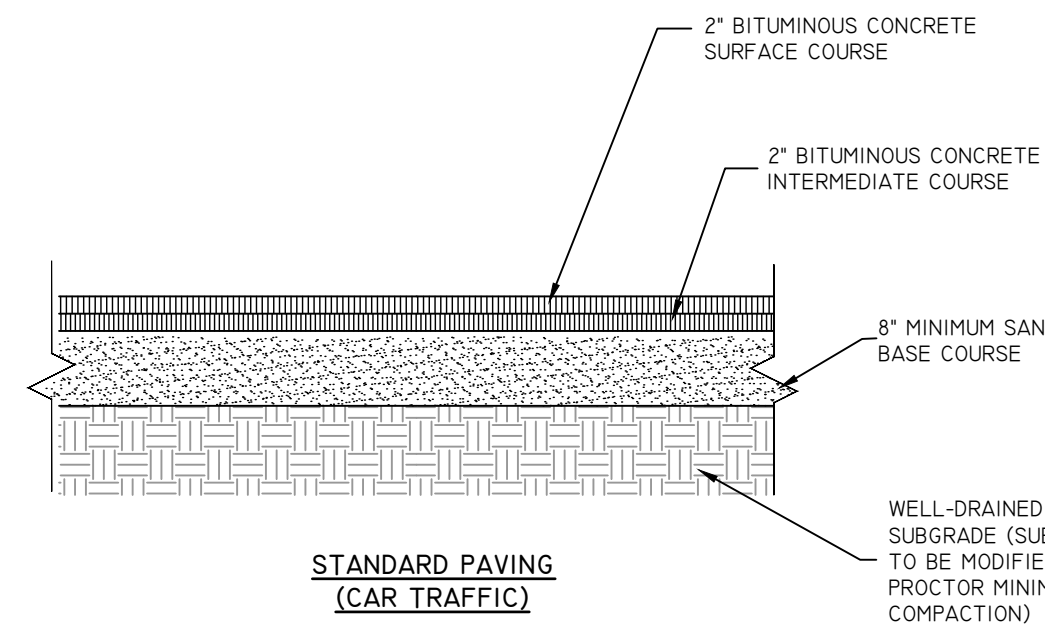




PRECAST CONCRETE CURB

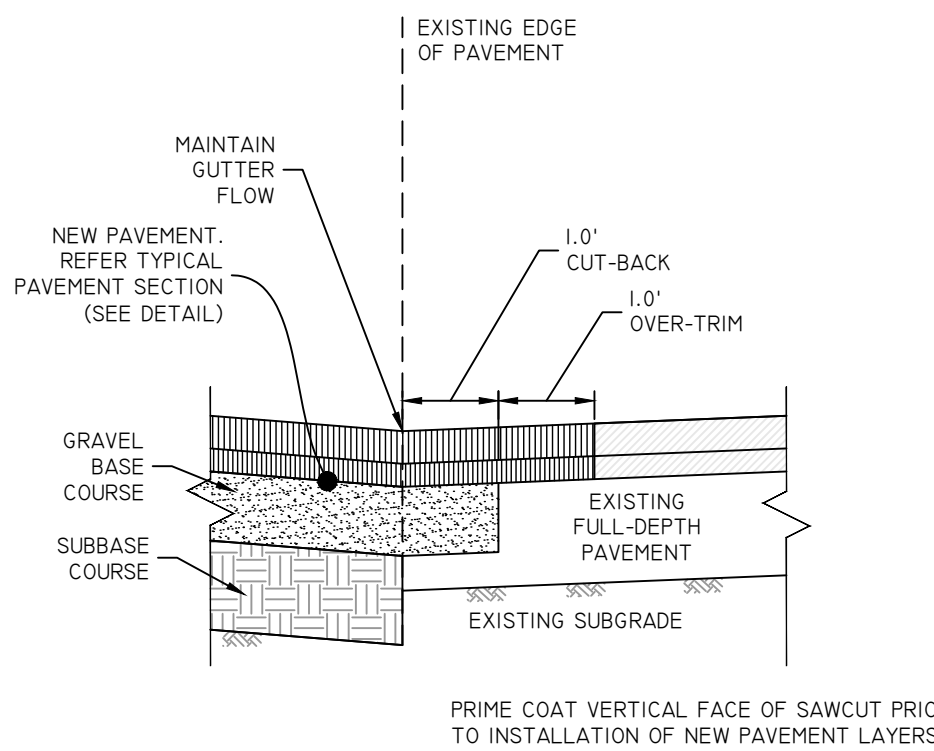
NOT TO SCALE

NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.



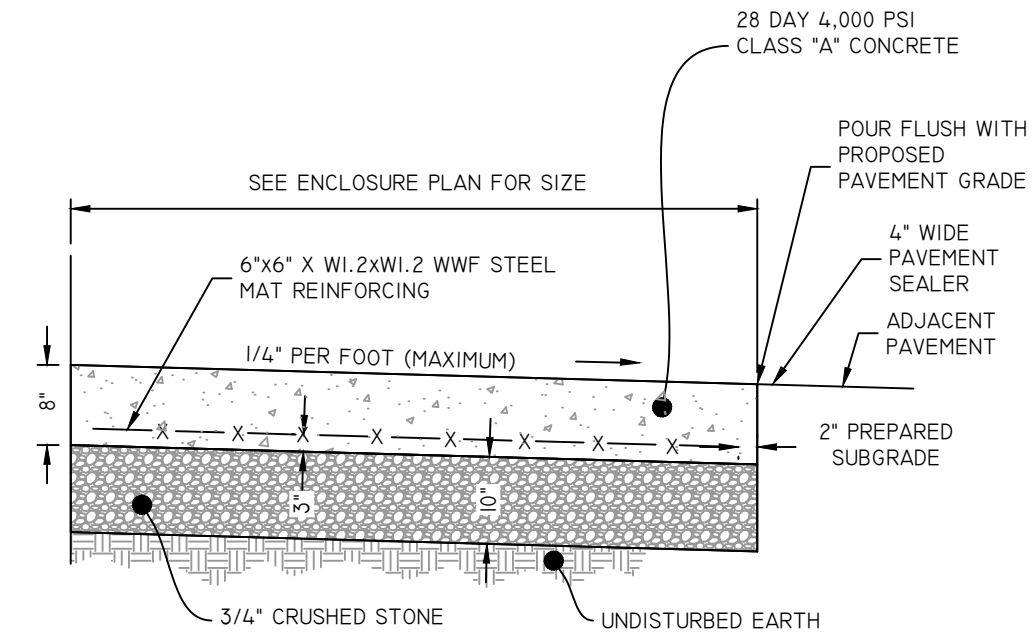
TYPICAL PAVEMENT SECTION

NOT TO SCALE



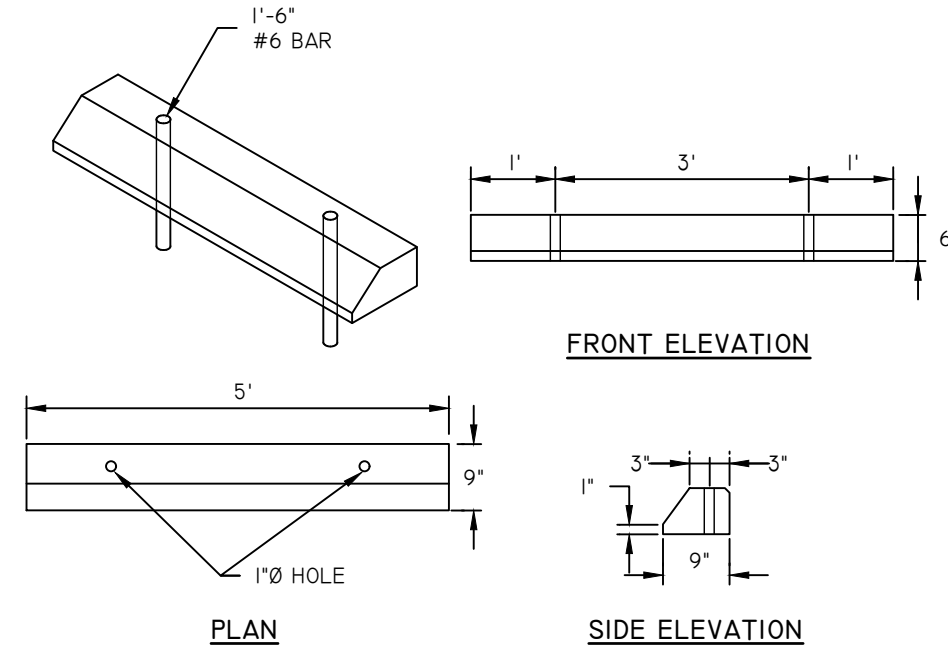
PAVEMENT TIE-IN DETAIL

NOT TO SCALE



CONCRETE DUMPSTER PAD

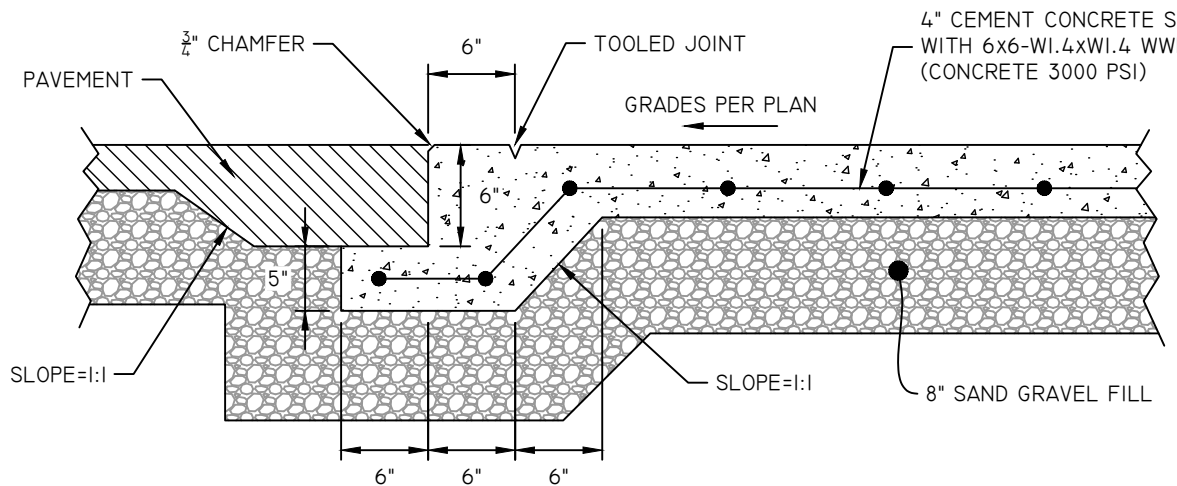
NOT TO SCALE



PRECAST CONCRETE CAR STOPS

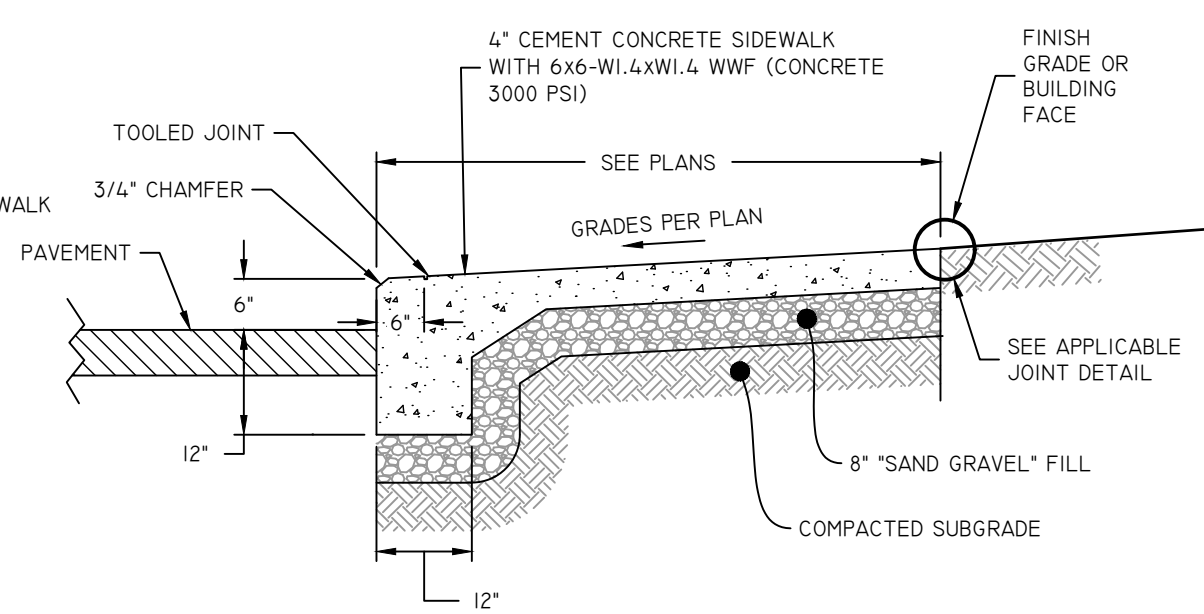
NOT TO SCALE

- NOTE:**
1. SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
 2. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
 3. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
 4. PROVIDE EXPANSION JOINTS AT MAX. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
 5. PROVIDE CONTROL JOINTS AT 5' O.C.



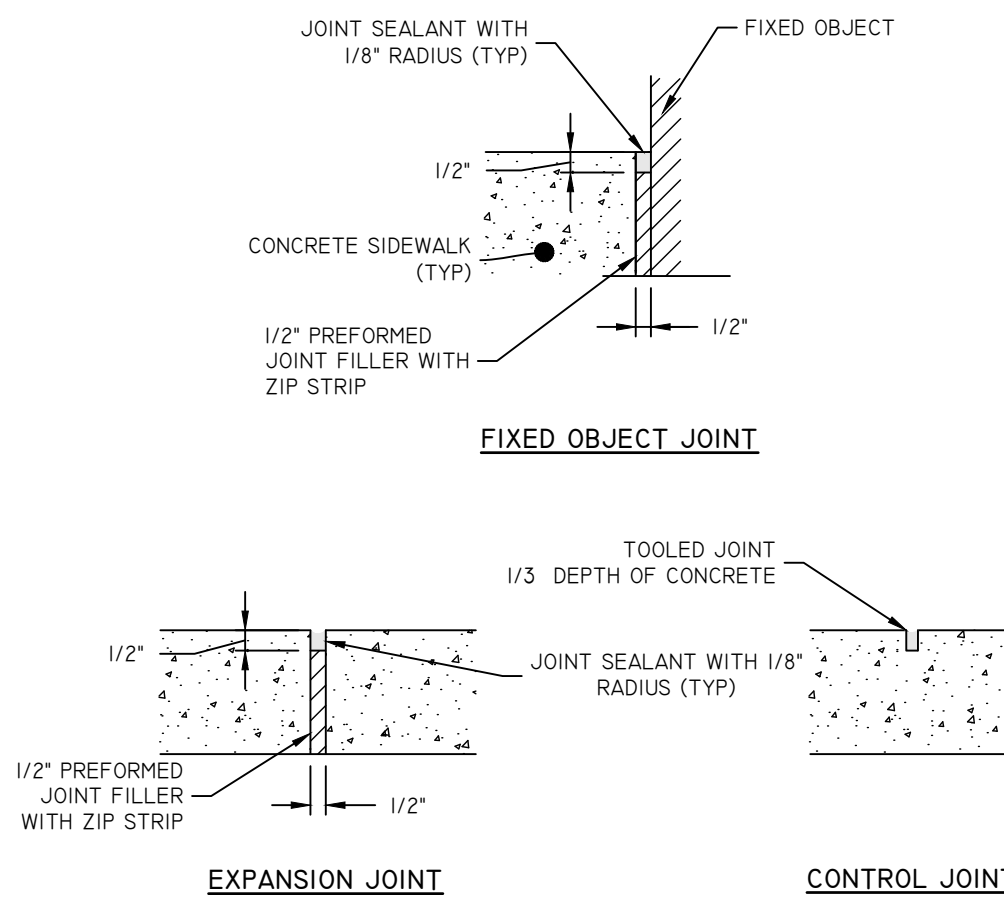
MONOLITHIC CONCRETE SIDEWALK (FLUSH)

NOT TO SCALE

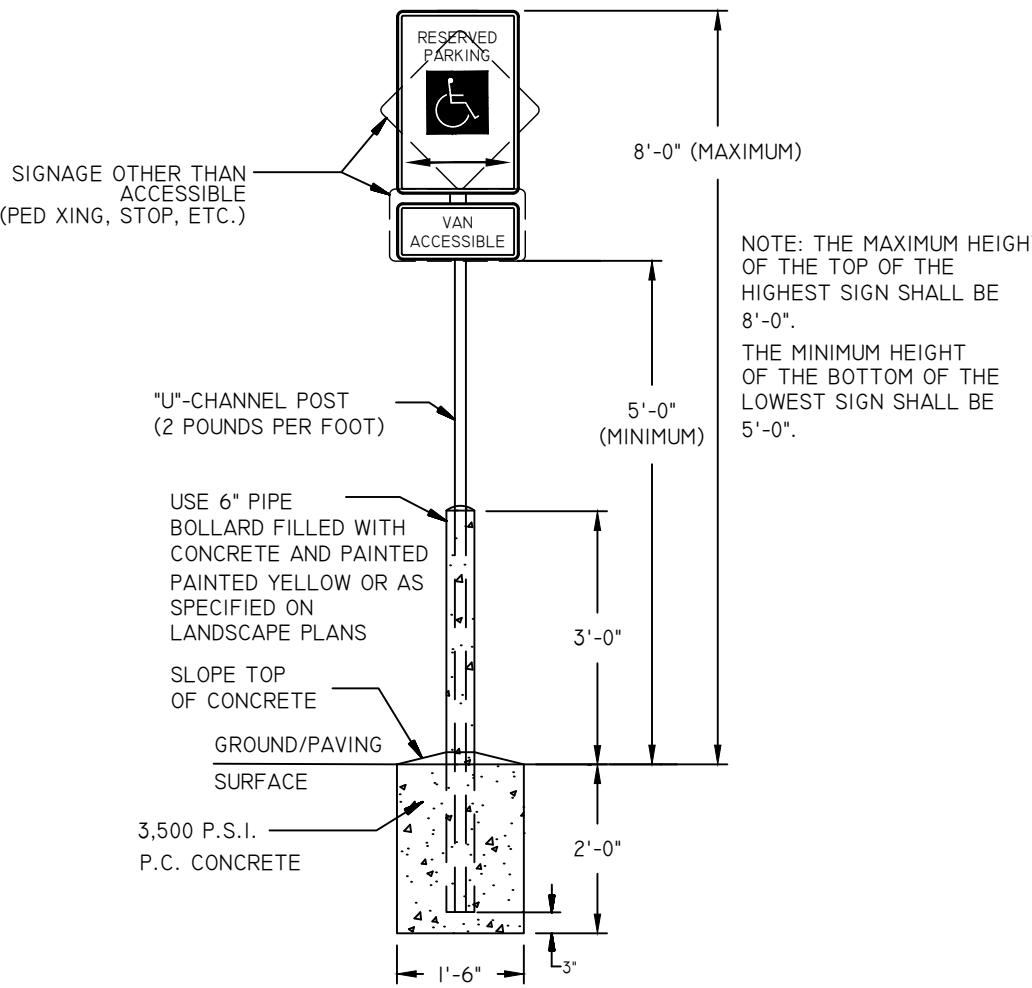


MONOLITHIC CONCRETE SIDEWALK (6" REVEAL)

NOT TO SCALE

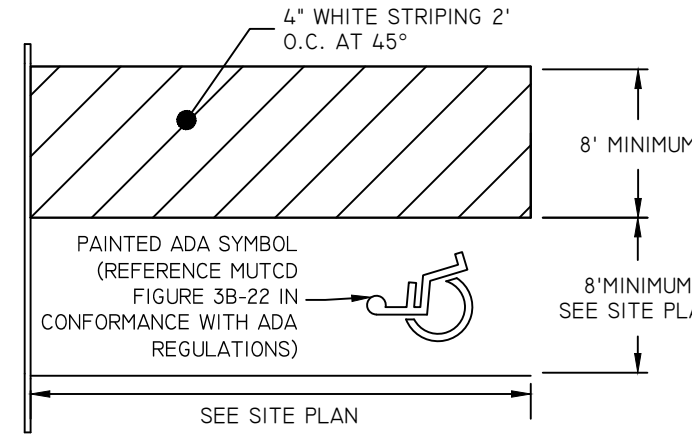


EXPANSION JOINT CONTROL JOINT

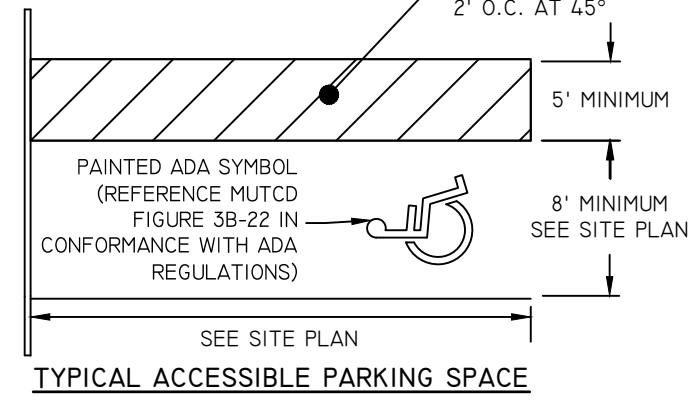


BOLLARD MOUNTED SIGN DETAIL

NOT TO SCALE



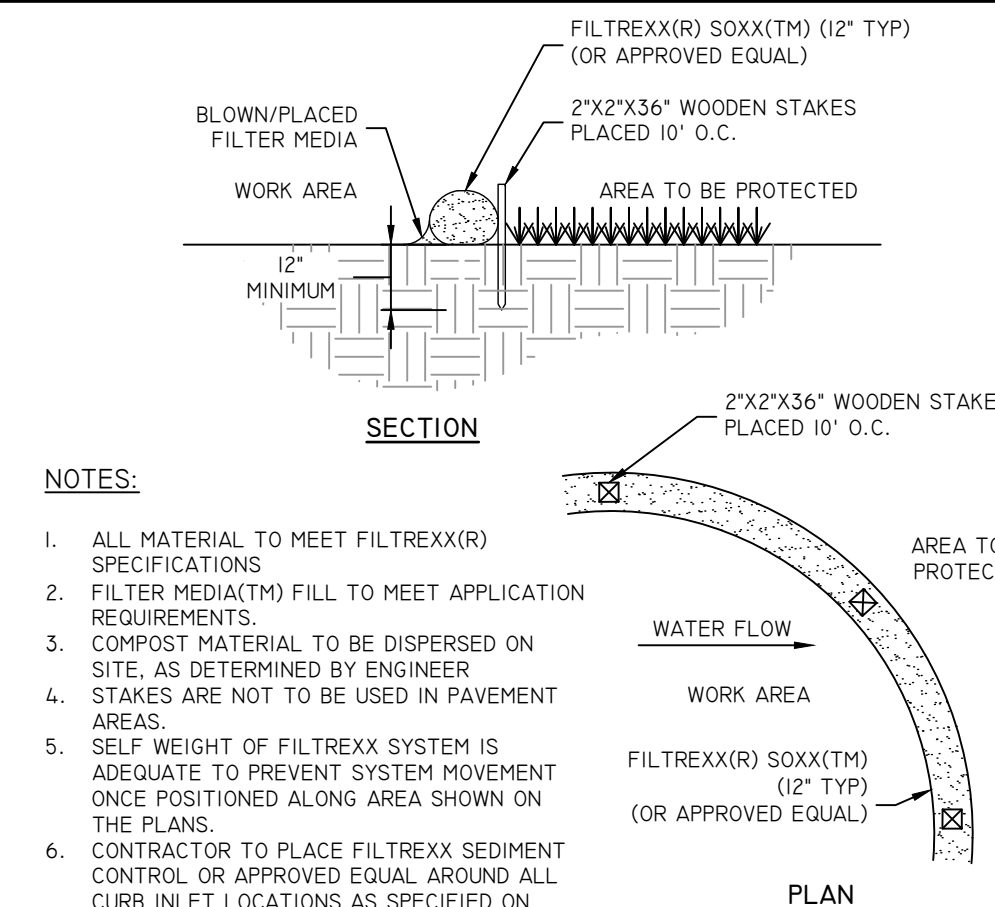
TYPICAL VAN ACCESSIBLE PARKING SPACE



TYPICAL ACCESSIBLE PARKING SPACES

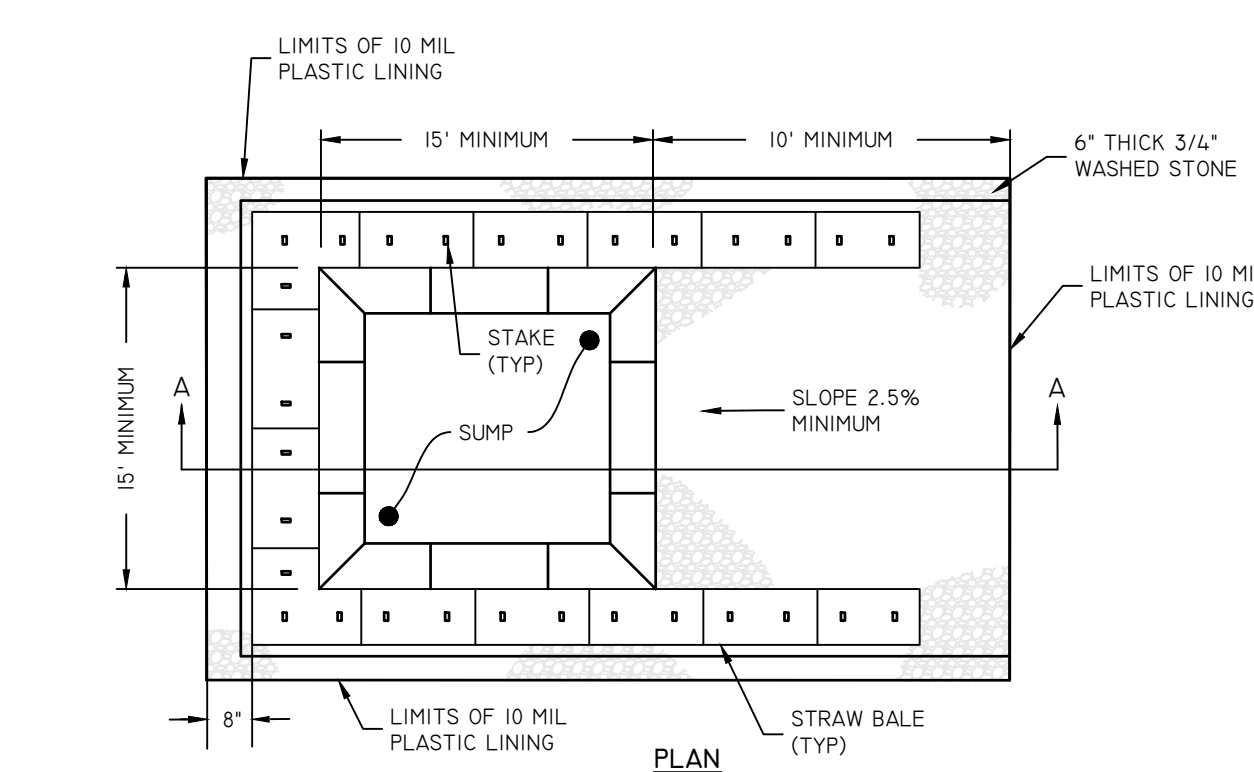
NOT TO SCALE

- NOTES:**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE II. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL, MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.



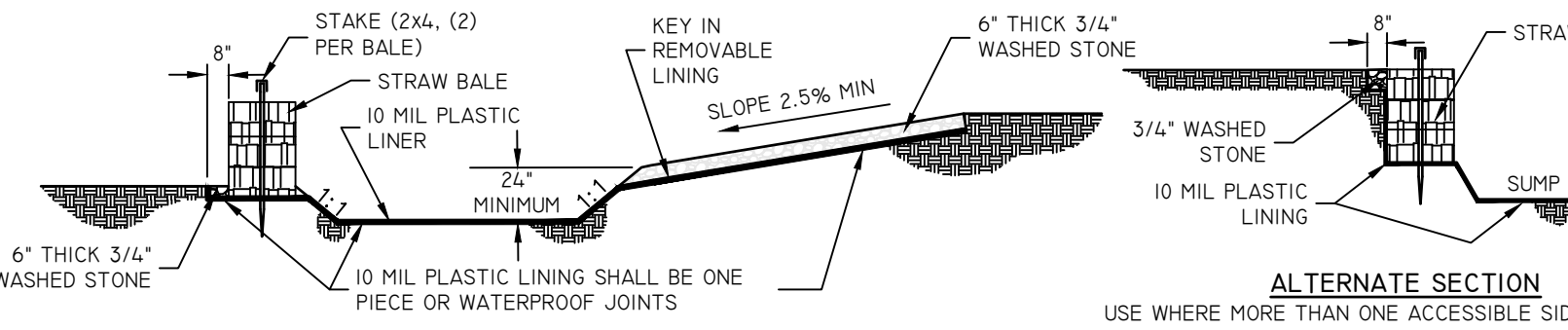
FILTREXX SEDIMENT CONTROL (OR APPROVED EQUAL)

NOT TO SCALE



CONCRETE WASHOUT AREA

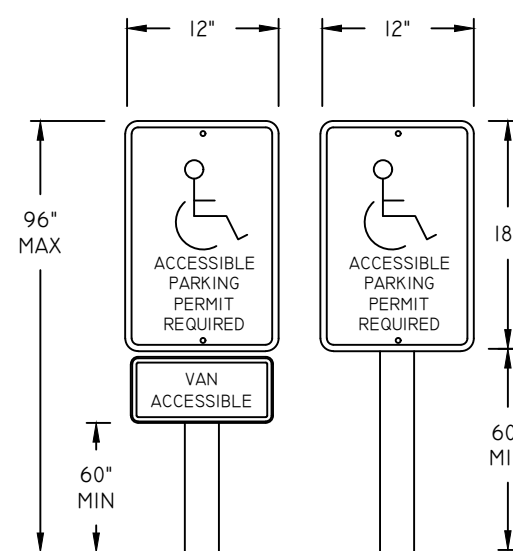
NOT TO SCALE



SECTION A-A

- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12" .
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

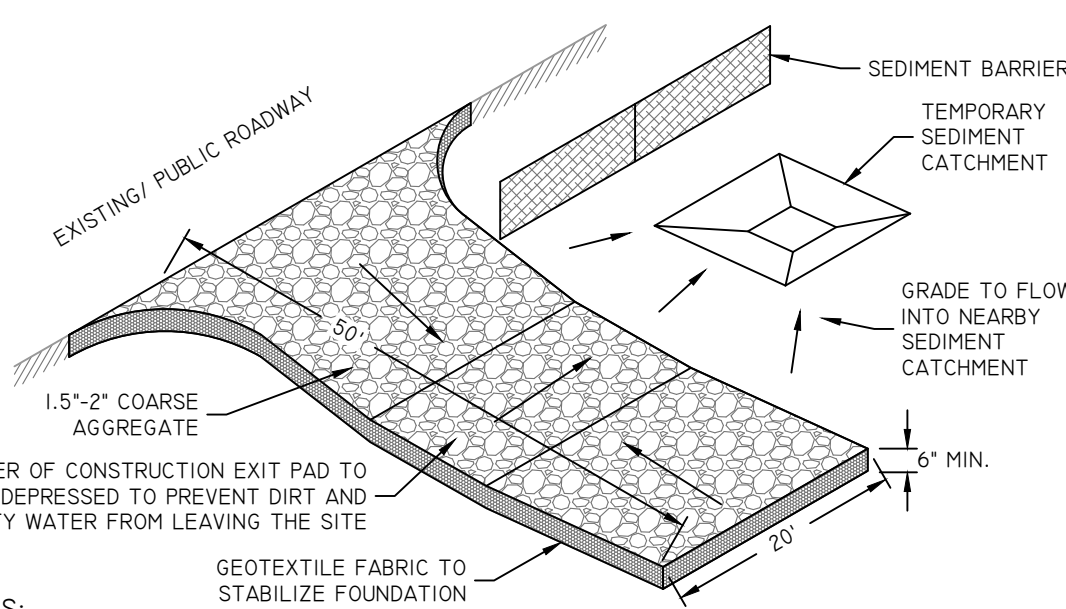
WASHOUT SIGN



TYPICAL ACCESSIBLE PARKING SIGN

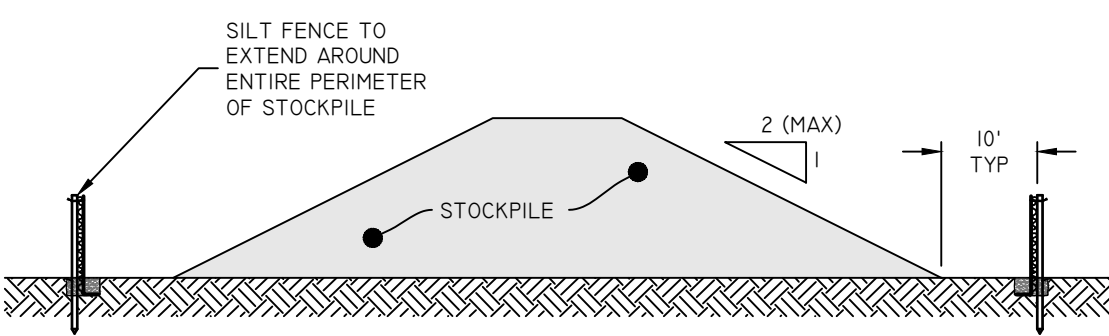
NOT TO SCALE

- NOTES:**
1. SIGN MUST BE PLACED BEHIND APPLICABLE VAN ACCESSIBLE OR ACCESSIBLE SPACE AS SHOWN ON SITE PLAN.
 2. ACCESSIBLE PARKING SPACES AND SIGNAGE MUST COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR THE APPLICABLE STATE/ MUNICIPAL BUILDING CODE, WHICHEVER STANDARD CONTROLS.
 3. THE MAXIMUM HEIGHT OF THE TOP OF THE HIGHEST SIGN SHALL BE 96" .
 4. THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 60" .



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/ EXIT PAD

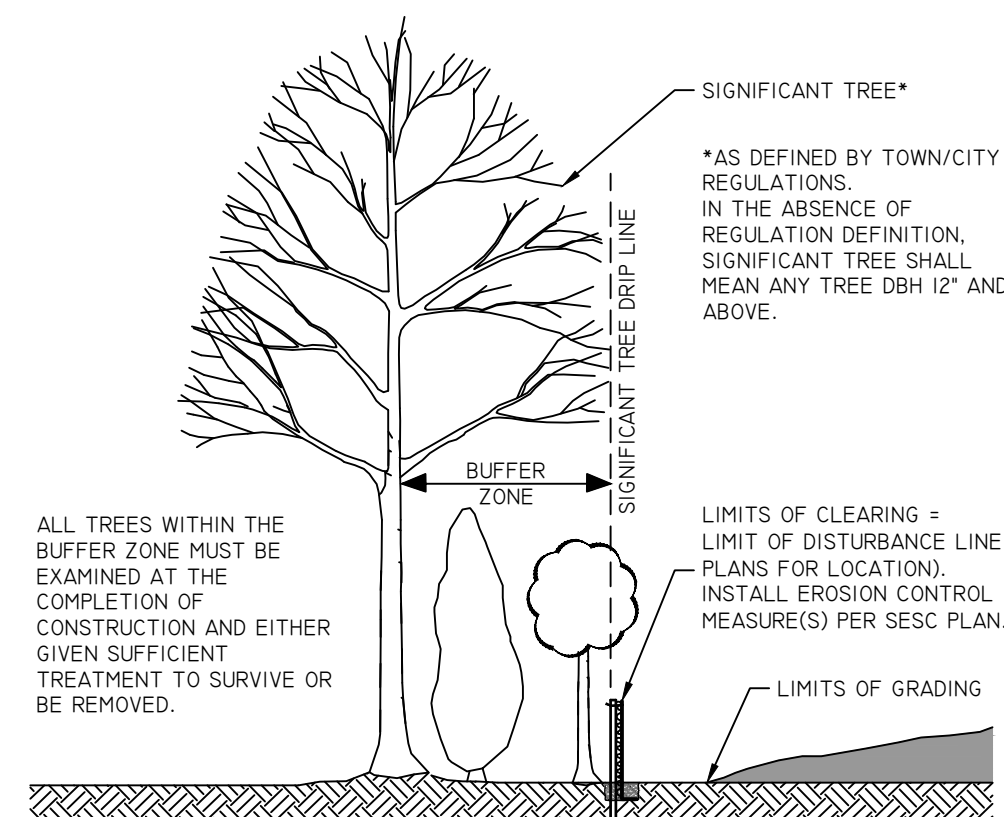
NOT TO SCALE



STOCKPILE PROTECTION

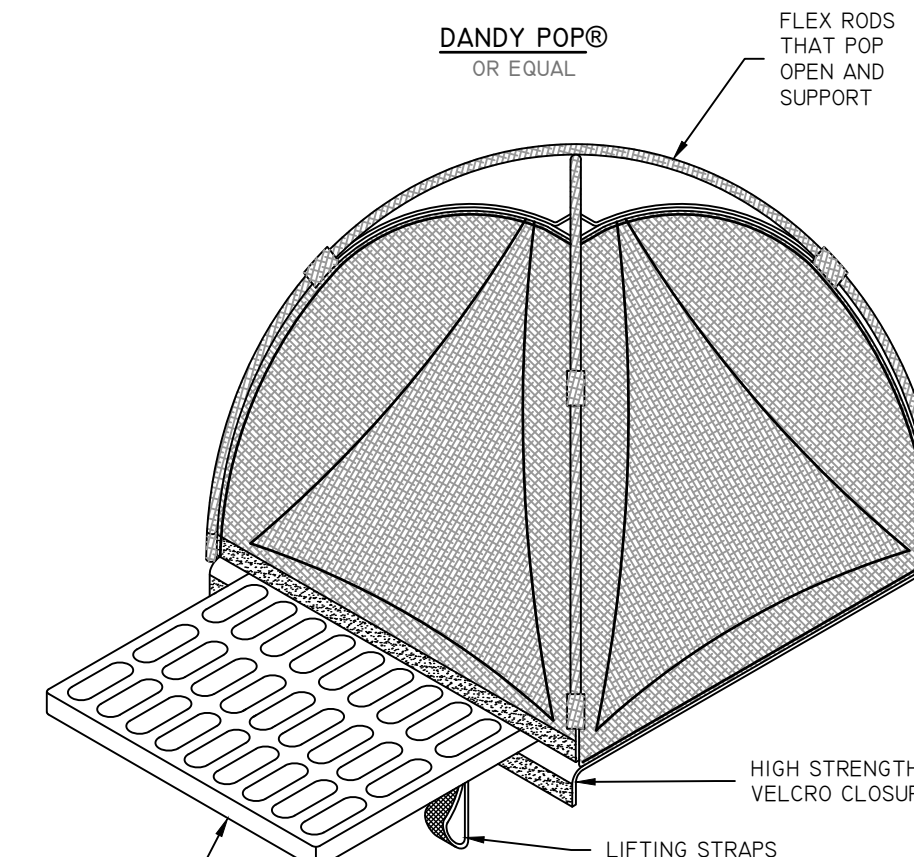
NOT TO SCALE

- NOTES:**
1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
 2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/4" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.



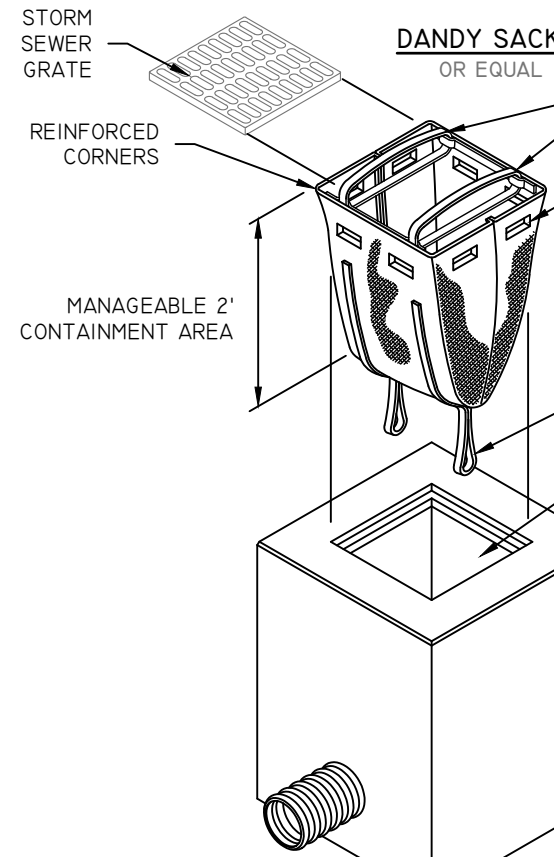
LIMIT OF DISTURBANCE AT VEGETATION

NOT TO SCALE



INLET SEDIMENT CONTROL DEVICES

NOT TO SCALE



DETAIL SHEET - I

MAIN STREET OFFICE BUILDING
ASSESSOR'S MAP 004.C LOT 24.0
BOLTON, MASSACHUSETTS

PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAintree, MASSACHUSETTS, 02184
TEL 781-552-4202

NO.	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
1	6-5-2023	PRELIMINARY SET	L.V.P.	L.V.P.
2	6-5-2023	DESCRIPTION	L.V.P.	L.V.P.
3	6-5-2023	DESCRIPTION	L.V.P.	L.V.P.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPIRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. SEE UTILITY MAP ON SHEET 3.

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
BRANDON D. DIPIRETE
CIVIL
No. 51472
06/26/2018

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER OF DIPIRETE ENGINEERING.
DIPIRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPIRETE ENGINEERING PROJECT. DIPIRETE ENGINEERING IS NOT A DESIGNER OF RECORD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT. DIPIRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. SEE UTILITY MAP ON SHEET 3.

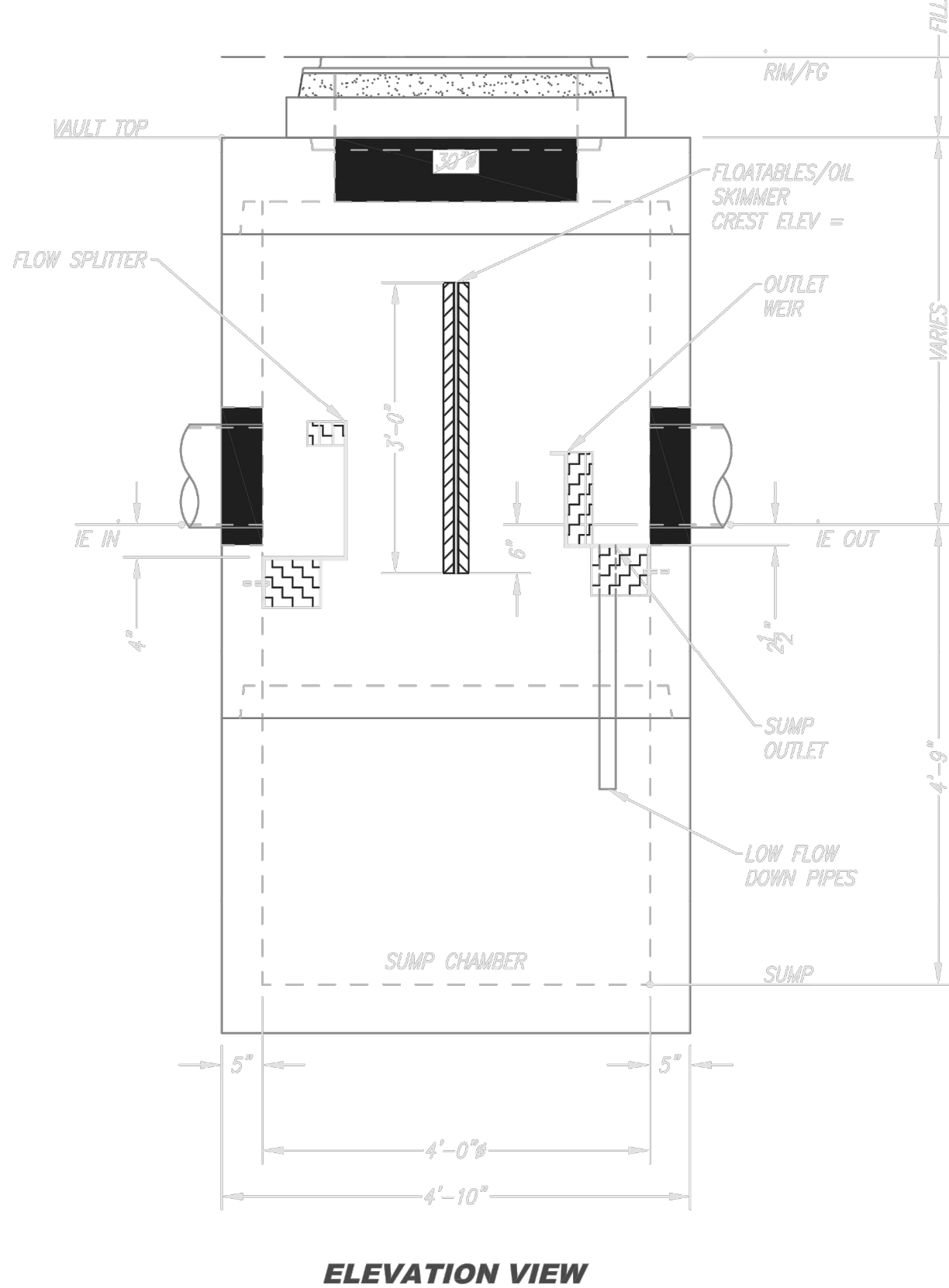
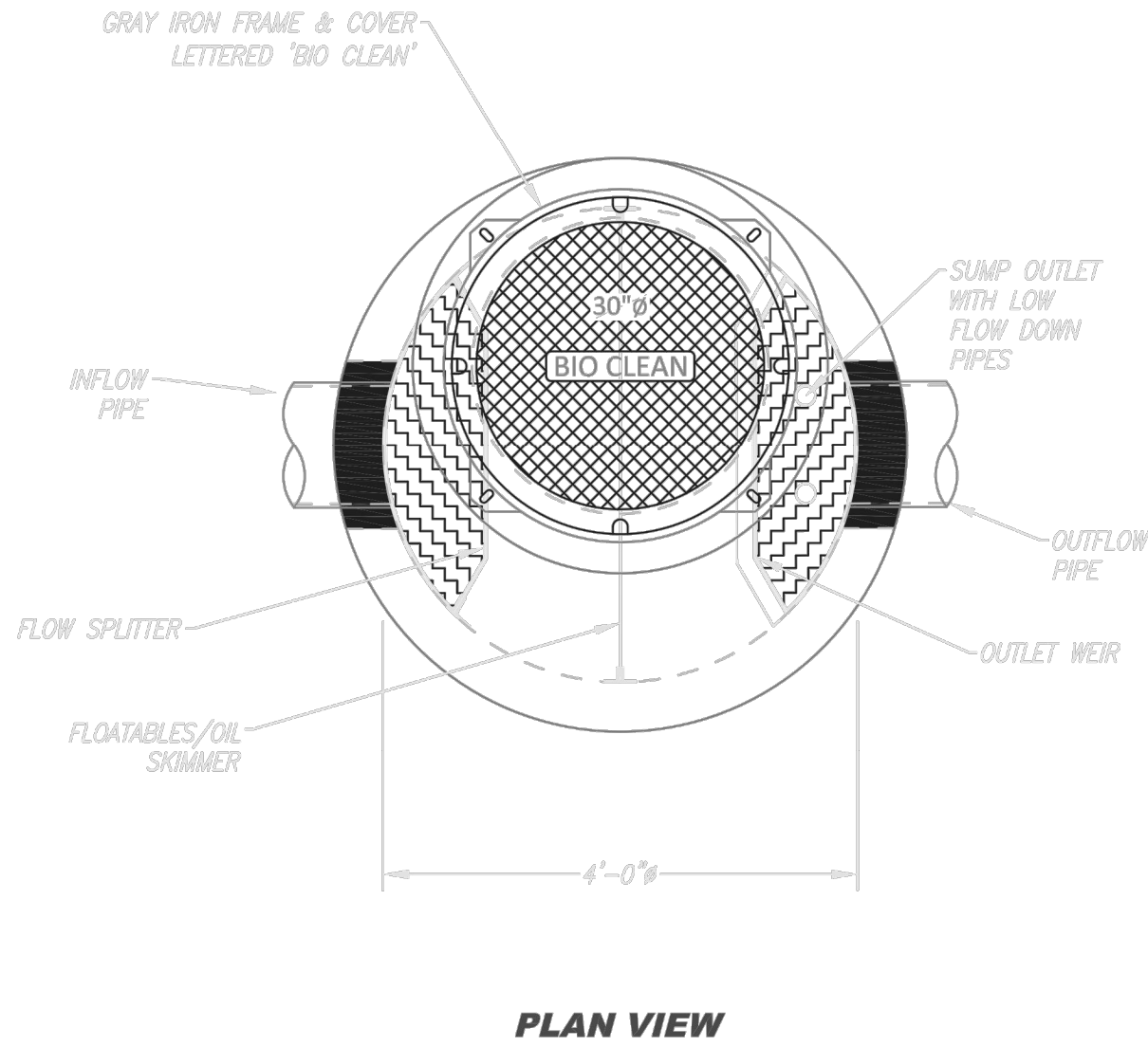
Z:\DEP\IN\PROJECTS\0432-008 MAIN STREET 180\AUTOCAD DRAWINGS\0432-008-FL AND DWG PLOTTEE 7/11/2023

SITE SPECIFIC DATA*				
PROJECT NUMBER		.		
PROJECT NAME		.		
PROJECT LOCATION		.		
STRUCTURE ID		SCX-04		
WATER QUALITY FLOW RATE (CFS)		1.82		
PEAK FLOW RATE (CFS)		.		
PEAK STORM DURATION (YEARS)		.		
PIPE DATA		I.E.	MATERIAL	DIAMETER
INFLOW PIPE 1		.	.	.
OUTFLOW PIPE 1		.	.	.
RIM ELEVATION		.		
SUMP ELEVATION		####		
SURFACE LOADING REQUIREMENT				HS20
FRAME AND COVER			(1) #30"	
SKIMMER WALL HEIGHT				STANDARD
KNOWN GROUNDWATER ELEVATION				NA
NOTES: CONCEPT ONLY. NOT FOR CONSTRUCTION.				
*PER ENGINEER OF RECORD				
PERFORMANCE DATA				
TREATMENT FLOW RATE (CFS)				-----
TSS REMOVAL EFFICIENCY				-----
SUMP CHAMBER CAPACITY				
DIAMETER (FT)	AREA (SF)	HEIGHT (FT)	TOTAL (CF)	
4	12.56	4.75	59.7	

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS, AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SCICLONEX UNIT AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- MANUFACTURER RECOMMENDS A 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH).
- ALL GAPS AROUND PIPES SHALL BE SEALED WATERTIGHT WITH A NON-SHRINK GROUT PER MANUFACTURER'S STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS AND MANHOLES. ALL COVERS SHALL BE SHIPPED LOOSE. CONTRACTOR TO USE GROUT AND/OR BRICKS TO MATCH COVERS WITH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.

1:20 SCALE



GENERAL NOTES

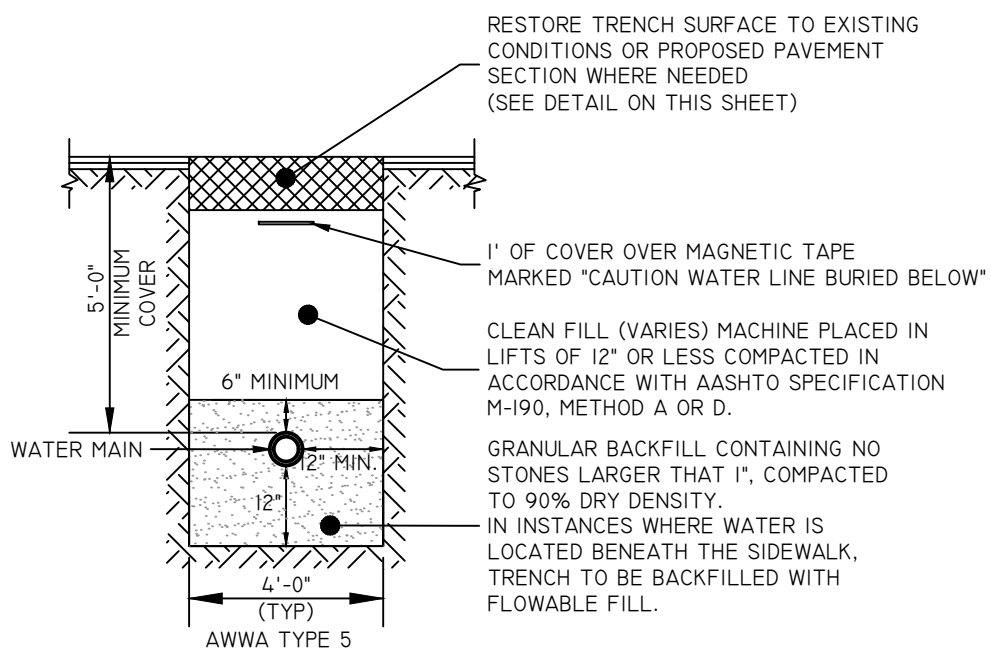
- BIO CLEAN TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS, AND CAPACITIES ARE SUBJECT TO CHANGE FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS, AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 13,700,149; 10,344,486; 9-00020. RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING.

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BioClean
A Forterra Company

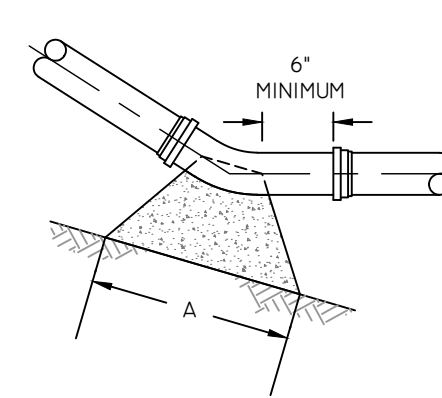
SCICLONEX SCX-04
HYDRODYNAMIC SEPARATOR
STANDARD DETAIL



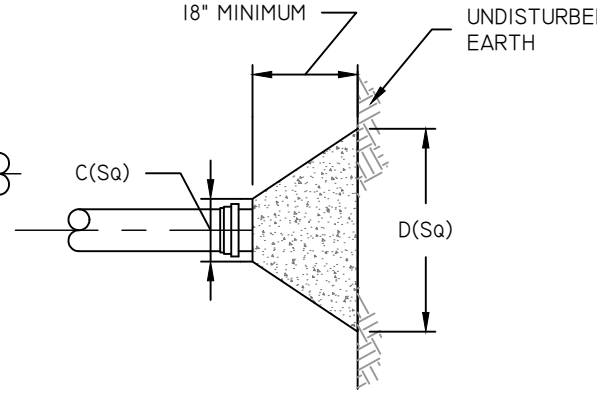
WATER TRENCH DETAIL

NOT TO SCALE

- NOTES:
- ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS.
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - FORMS TO BE USED AS NECESSARY.
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.
 - REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS SHALL VERIFY CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT.



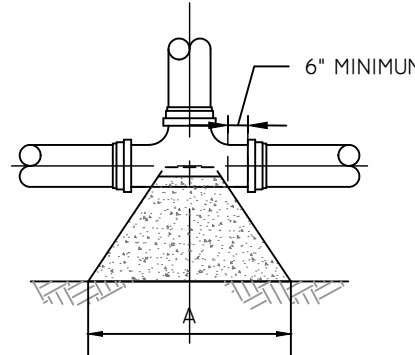
PLAN BENDS



PLAN & ELEVATION PLUGS

SIZE	TEES		PLUGS		90° BEND		45° BEND		22.5° BEND		11.25° BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
6"	20"	10"	10"	21"	24"	12"	18"	9"	13"	7"	9"	5"
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"
10"	34"	17"	14"	34"	40"	20"	30"	15"	22"	11"	15"	8"
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"

BENDS & TEES SECTIONS



PLAN TEES

THRUST BLOCK

NOT TO SCALE

DETAIL SHEET - 2

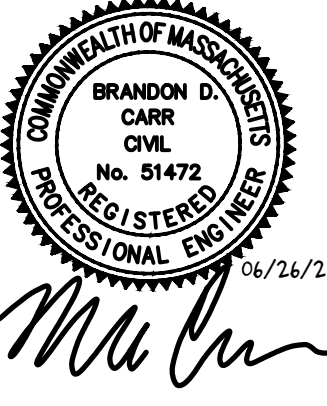
MAIN STREET OFFICE BUILDING
ASSESSOR'S MAP 04L.C LOT 24.0
BOLTON, MASSACHUSETTS

PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
100 GRANDVIEW ROAD, SUITE 312, BRAintree, MASSACHUSETTS, 02184
TEL 781-552-4202

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ASSOCIATES, INC. (DIPRETE) BASIS. DIPRETE ASSOCIATES, INC. (DIPRETE) DOES NOT WARRANT PLANS OF ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN REQUIREMENTS IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR THE ACCURACY OF ANY UTILITIES SHOWN ON THIS PLAN. SEE SEE "UTILITY NOTE" ON SHEET 3.



Diprete Engineering

105 Eastern Avenue Suite 200 Dedham, MA 02026
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

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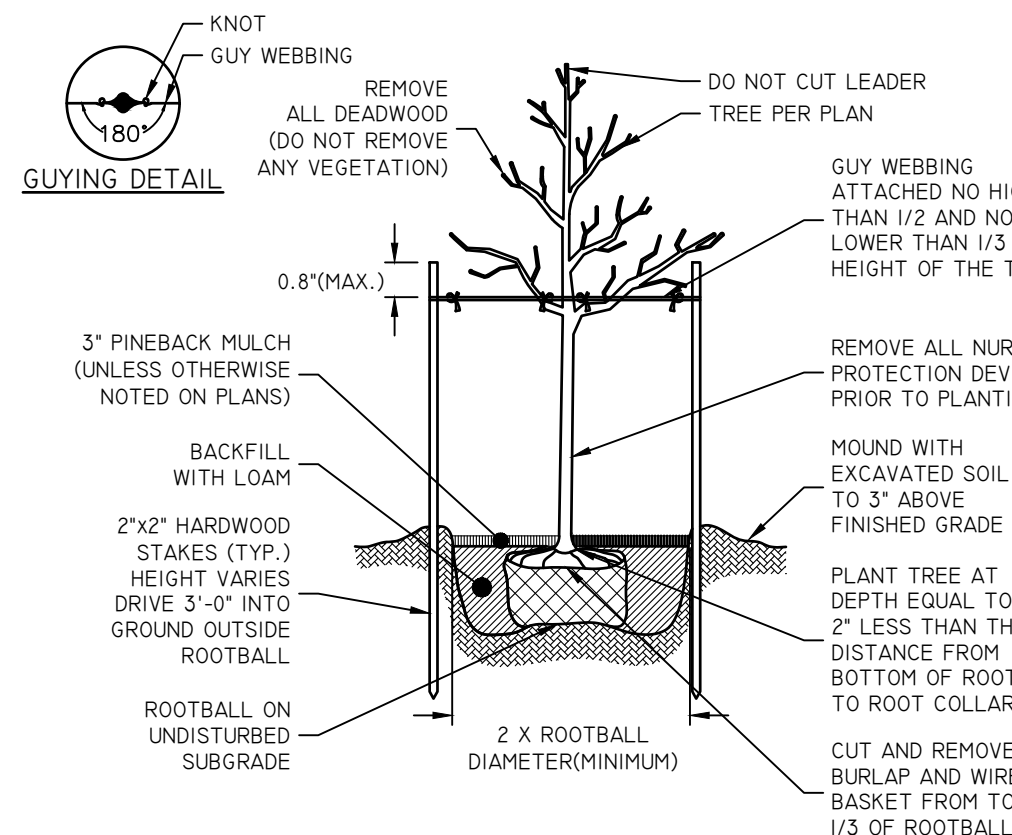
Z:\DESHAIN\PROJECTS\0435-008 MAIN STREET 150' AUTO/CAD DRAWINGS\0435-008-LAND.DWG PLOTTED: 7/14/2023



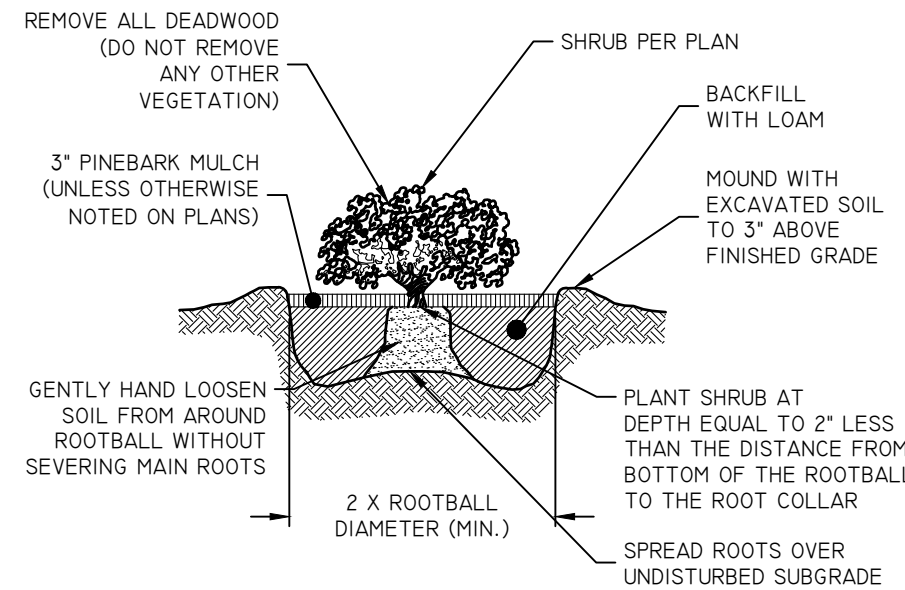
PLANTING NOTES:

1. SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING. SEE ENGINEERING PLANS FOR MORE DETAIL.
2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
3. CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
4. ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
7. CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
8. ALL PLANTS TO RECEIVE THREE (3) INCHES OF MULCH COMPRISED OF DARK, AGED SHREDDED BARK AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
9. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
10. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING AN ENDOPHYTE ENHANCED GRASS SEED MIX

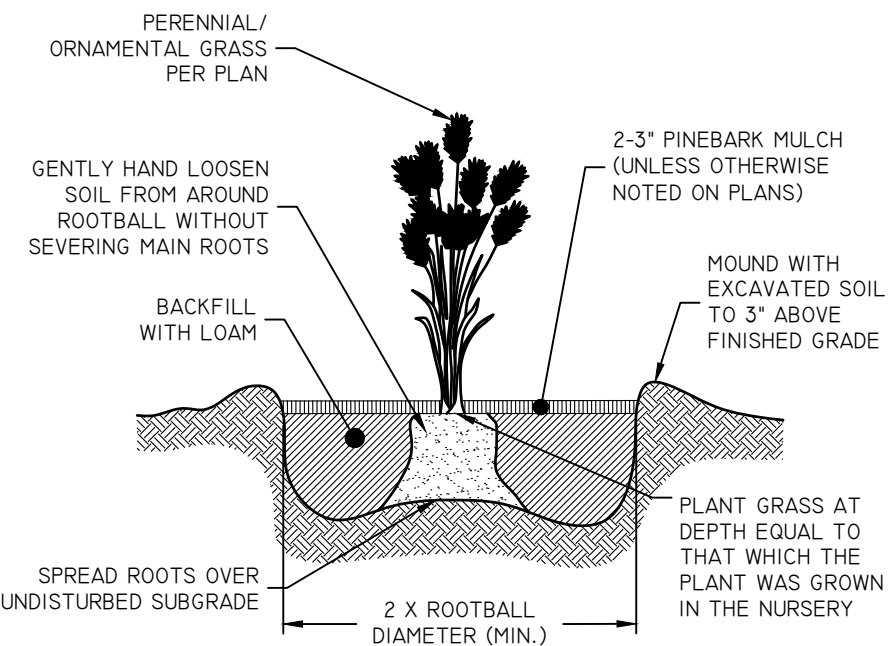
11. AT A RATE OF 5-7 LBS. PER 1,000 SF OR AS DIRECTED BY TOWN. ANY SOD (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER. STORMWATER SYSTEMS SHALL BE SEEDED PER POND DETAILS OR AS NOTED.
12. RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
13. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
14. LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
15. FORMING AND PLANTING OF THE PROPOSED BERM TO BE COMPLETED WITHIN THE FIRST 4 MONTHS OF CONSTRUCTION (AS LONG AS THAT FALLS WITHIN THE PLANTING SEASON) AND A 2-YEAR MONITORING AND PLANT GUARANTEE ON THE PLANTS ON THE BERM IS REQUIRED. SCREENING PLANTING TO BE PRUNED IF NEEDED TO MAINTAIN APPROPRIATE DENSITY AND HEIGHT.
16. ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
17. IRRIGATION BY OTHERS.
18. LIGHTING PHOTOMETRICS/DESIGN BY OTHERS.
19. THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.
20. ALL VEGETATION OUTSIDE THE LIMIT OF WORK SHOWN WILL BE PRESERVED.



LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)



CONTAINER GROWN SHRUB PLANTING DETAIL
NOT TO SCALE



PERENNIAL/ ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	CLC	2	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD HAWTHORN	B&B 8' HT MIN	1.5/2" CAL
	MDW	1	MALUS x 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	B & B	3.5/4" CAL
	PS	2	PRUNUS SUBHIRTELLA 'AUTUMNALIS'	AUTUMN FLOWERING CHERRY	B & B	2.5" CAL MIN
	QA	5	QUERCUS ALBA	WHITE OAK	B & B	2.5" CAL MIN
	SR	7	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	3.5/4" CAL

PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	HA	4	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL WHITE HYDRANGEA	5 GAL
	IGS	6	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	5 GAL
	RK	12	ROSA x 'KNOCKOUT' TM	KNOCKOUT ROSE	3 GAL
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CKF	22	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
	PAH	40	PENNISETUM ALOPECUROIDES 'HADELN'	HADELN DWARF FOUNTAIN GRASS	2 GAL
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	HH	7	HEMEROCALLIS x 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL
	NW	2	NEPETA x FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	1 GAL

SCALE: 1"=20'
0 10' 20' 40'

DiPrete Engineering



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tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport



Brandon D. Carr

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NO. 6-5-2023
DATE 6-5-2023
DRAWN BY I.V.P.
DESIGN BY I.V.P.
CHECKED BY I.V.P.
BY I.V.P.

LANDSCAPE PLAN

MAIN STREET OFFICE BUILDING

ASSESSOR'S MAP 004.C LOT 24.0

BOLTON, MASSACHUSETTS

PREPARED FOR:
CONDYNE ENGINEERING GROUP, LLC
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